

# HOME INSPECTION REPORT



165 Westminster Ave  
Toronto

Prepared for: [High Park Real Estate Group](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: March 14 2022



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read Terms and Conditions:  
<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

\* please see credentials at end of report



REFERENCE LINK [http://redbrickinspections.ca/docs/2\\_Roofing\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf)

165 Westminster Ave

# ROOFING/Chimneys

March 14 2022

page 2

## Description

Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick Abandoned:	East
Not Determined	Dormer(s):		Brick:	West
Built Up(tar& gravel):	Garage:	High		
		coach house		

## Limitations

Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
Binoculars	Height Snow	

## Observations/Recommendations

Sloped Surface: [overall surface in good repair](#)



Garage: [Coach House: older surface recommend replacing before renovating](#)



Chimney(s): [overall in good repair](#)

[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

**Description**

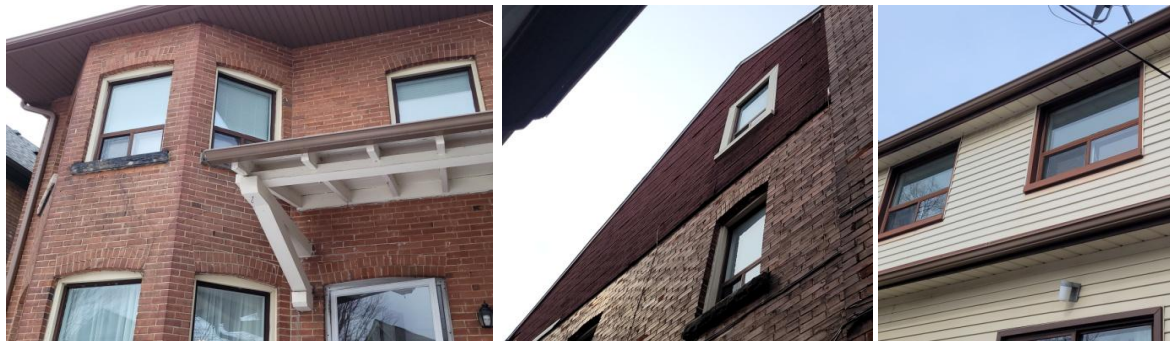
Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Below/Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Metal Siding Insulbrick
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**Limitations**

Exterior Inspection from Ground Level

**Observations/Recommendations**

WALL SURFACES: overall in good repair  
 Brick: minor surface spalling, repair as required  
 Insulbrick: may require covering with metal siding for insurance  
 repair seams as required, budget to cover/replace with metal siding  
 DOORS/WINDOWS: overall in good repair  
 Soffit & Facia: require general repairs and maintenance



DECK require general repairs and maintenance  
 PORCH overall in good repair

DETACHED GARAGE: Coach House: older, typically ongoing repairs, settlement at northwest corner  
 should be repaired when renovating- consult with specialist



\*\*Walk(s)/Driveway(s): parking area at rear- budget for landscaping, retaining wall repairs at  
 front yard, walkway repairs at front

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

[http://redbrickinspections.ca/docs/4\\_Structure\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf)

165 Westminster Ave

# STRUCTURE

March 14 2022

page 4

## Description

Configuration: Basement:	Foundations: Stone	Floor : Wood Joists	Walls : Masonry (Double-Brick) Wood Frame (Siding)	Roof/Ceiling Framing: No Access
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## Limitations

Restricted Access to: Wall Space Roof Space	Foundation Wall Not Visible: <u>80</u> %
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## Observations/Recommendations

overall well built house

FLOORS: sagging though appears to be old condition- typical

WALLS:

Masonry: southwest corner typical settlement cracks - repair



FOOTINGS/FOUNDATIONS basement floor has been lowered





**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Copper</b>	<b>Knob-and-Tube-Copper</b>
Description: <b>Fuses</b>		<b>Grounded &amp; Ungrounded</b>
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location:
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: <b>Grounded/Ungrounded</b>	
Description:	Number of Outlets: <b>Minimal</b>	Arc Fault Circuit Interrupter:
Location:		Location:

**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

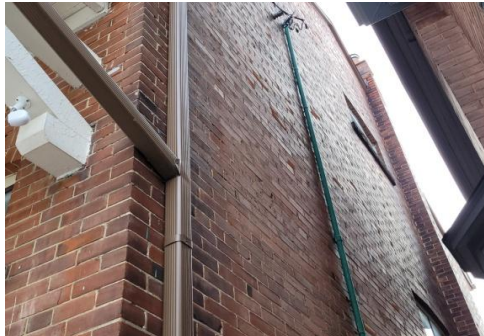
**SERVICE ENTRANCE:**

Service Size: **recommend upgrading to 200 AMP when renovating**

Mast: **older, recommend upgrading**

Main Disconnect: **older, recommend upgrading**

SERVICE PANEL: **older, recommend upgrading**



**BRANCH WIRING:**

Knob & Tube: **based on random sampling observed in majority of house and coach house recommend upgrading**

GFCI: **provide to exterior outlet**  
**provide to washroom/kitchen outlets**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

165 Westminster Ave

# HEATING

March 14 2022

page 6

## Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Hot Water Boiler:	Low	150 x1000BTU/hr	33 yrs.	30+ yrs.	Gas	Meter-Exterior
Electric Heater(s):						

Exhaust Vent Arrangement:

## Limitations

Heat Loss Calculations Not Done  
Heat Exchanger- Limited Access

## Boiler Performance

Pressure lbs/in2: 15

## Observations/Recommendations

**HOT WATER BOILER:** continue servicing until replacement becomes necessary  
annual CO test mandatory for this type of unit  
recommend upgrading to high efficiency unit when renovating



**Radiator(s):** monitor/repair valves as required  
missing radiator in basement - provide or install electric heater if required

**Piping:** corroded connection in basement ceiling, overall further evaluation to piping system when renovating



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

165 Westminster Ave

## COOLING/Heat Pumps

March 14 2022

page 7

### Description : none

Description:	Cooling Capacity: x1,000 BTU/hr	Approx. Age: yrs. old	Typical Life Expectancy: yrs.
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### Limitations

### Cooling Performance

Supply Temp F:  
Return Temp F:

### Observations/Recommendations



REFERENCE LINK

[http://redbrickinspections.ca/docs/8\\_Insulation\\_Ventilation\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf)

165 Westminster Ave

## INSULATION/VENTILATION

March 14 2022

page 8

### Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
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### Limitations

[Access Not Gained To Wall Space](#)

[Access Not Gained To Roof Space](#)

### Observations/Recommendations

[anticipate upgrades when renovating](#)

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: <a href="#">Copper</a>	Main Shut Off Valve at: <a href="#">Basement-Front</a>	Water Flow (Pressure): <a href="#">Good</a>
Supply Piping & Pump(s): <a href="#">Copper</a>	Waste Piping & Pump(s): <a href="#">Plastic</a> <a href="#">Cast Iron</a> <a href="#">Clay Floor Drain</a>	Water Heater Type: <a href="#">Conventional</a> Fuel Type: <a href="#">Electricity</a> Capacity: <a href="#">60 Gal</a> Age Yrs.: <a href="#">17</a> Life Expectancy: <a href="#">20</a>

**Limitations**

<a href="#">Isolating/Relief Valves &amp; Main Shut Off Valves Not Tested</a>	<a href="#">Concealed Plumbing not Inspected</a>
<a href="#">Kitchen and Laundry Appliances Were Not Inspected</a>	<a href="#">Tub/Sink Overflows Not Tested</a>

**Observations/Recommendations**

WATERMAIN: [upgraded to copper](#)

SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [all piping examined was in good repair](#)  
 Basement Floor Drain: [main drain to city sewer- recommend video-scan](#)  
[may require repairs/replacement when renovating](#)

WATER HEATER: [upgrade when renovating](#)

Washroom(s): [repair/maintain as required, anticipate renovations](#)

Kitchen(s) [repair/maintain as required, anticipate renovations](#)

REFERENCE LINK	<a href="http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf">http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf</a>			
165 Westminster Ave	<b>INTERIOR</b>			March 14 2022
<b>Description</b>				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Sliders	Wood
Ceramic Tile			Fixed	Sliding Glass
Resilient				
Fireplaces:	Fireplace Fuel:			
<b>Limitations</b>				
Restricted/No Access To: _____		Foundation Not Visible <u>80</u> %		
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected		Drainage Tile Not Visible		
Absence of Historical Clues due to New Finishes/Paint				
<b>Observations/Recommendations</b>				
<p>Floors/Walls/Ceilings: overall in good repair</p> <p style="padding-left: 40px;">Floors: older tile suspect to contain asbestos  encapsulating is often the best approach  Environmental Consultants can assist if this is a concern</p> <p>Trim/Cabinets/Counters: overall in good repair</p> <p style="padding-left: 40px;">Windows/Doors: overall in good repair</p> <p style="padding-left: 40px;">STAIRS: provide hand rails to basement steps</p> <p>**Basement Leakage: presently no leaking detected with moisture meter random sampling  typical efflorescence, staining and dampness for older foundation  see steps below  recommend damp-proofing if renovating basement</p>				
<p>CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law</p> <p>** Steps recommended in order to minimize basement leakage</p> <ol style="list-style-type: none"> <li>1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior</li> <li>2. cracks/form ties on foundation: monitor/repair as required</li> <li>3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort</li> </ol> <p>Environmental/Health Concerns: <a href="http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf">http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf</a></p>				



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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