

# HOME INSPECTION REPORT



25 Huntsmoor Rd

Toronto

Prepared for: [High Park Real Estate Group](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: March 25 2022



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read Terms and Conditions:  
<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

\* please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: South*

ROOFING Newer high quality asphalt shingles with a typical life expectancy of over 30-yrs.

EXTERIOR Overall well maintained.

STRUCTURE Overall well built house.

ELECTRICAL The 100 AMP service size is adequate and the wiring is copper grounded and ungrounded -see details.

HEATING 6-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS 6-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/  
VENTILATION Roof space insulation and ventilation is adequate

PLUMBING Overall good water pressure with copper supply piping. Reported that main drain replaced and includes a backflow valve. The washrooms and kitchen are overall in good repair. New on demand water heater.

INTERIOR Overall well maintained. Windows have been upgraded.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at [www.redbrickinspections.ca](http://www.redbrickinspections.ca) <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>*

# ROOFING/Chimneys

Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low		
Asphalt Shingles:	Garage:	Low		

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Edge		

## Observations/Recommendations

Sloped Surface: [overall surface in good repair](#)



Garage: [overall surface in good repair](#)



[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Concrete Metal Siding
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**Limitations**

Exterior Inspection from Ground Level

**Observations/Recommendations**

WALL SURFACES: overall in good repair  
DOORS/WINDOWS: overall in good repair



PORCH(es): overall in good repair  
DETACHED GARAGE: older, typically ongoing repairs  
wood stove: recommend inspection by W.E.T.T. Certified technician ([www.wettinc.ca](http://www.wettinc.ca))



\*\*Lot Grading: slope away from house



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

# STRUCTURE

## Description

Configuration: Basement:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Masonry Wood Frame (Siding)	Roof/Ceiling Framing: Wood Rafters/Joists
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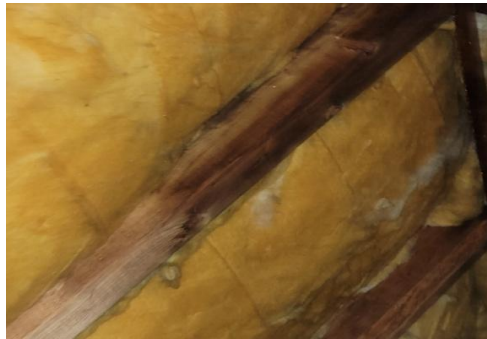
## Limitations

Restricted Access to: Wall Space Knee Wall Areas	Foundation Wall Not Visible: <u>95</u> % Roof Space Inspected From Access Hatch limited due to insulation
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## Observations/Recommendations

overall well built house

ROOF: overall in good repair



**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded &amp; Ungrounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location: <b>Kitchen</b>
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating: AMP	Description: <b>Grounded/Ungrounded</b>	
Description:	Number of Outlets: <b>Typical</b>	Arc Fault Circuit Interrupter:
Location:		Location:

**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

SERVICE PANEL: **overall in good repair**



Ungrounded Outlet(s): **provide GFCI's (ground fault circuit interrupters)**

Miswired Outlet(s): **overall minor repairs**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

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# HEATING

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## Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	60 x1000BTU/hr	6 yrs.	20 yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

## Limitations

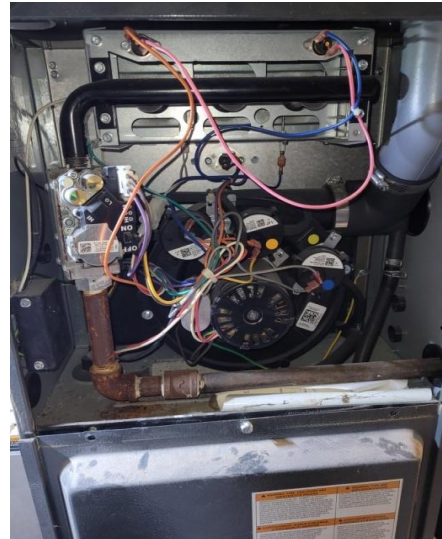
[Heat Loss Calculations Not Done](#)  
[Heat Exchanger- Inaccessible](#)

## Furnace Performance

Supply Temp F: [120](#)  
Return Temp F: [70](#)

## Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

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## COOLING/Heat Pumps

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### Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
<a href="#">Air Conditioner (air-cooled):</a>	18 x1,000 BTU/hr	6 yrs. old	10 to 15 yrs.

### Limitations

[Cannot Test With Low Outdoor Temp](#)

### Cooling Performance

Supply Temp F:  
Return Temp F:

### Observations/Recommendations

HEAT PUMP: [not tested: should be serviced before using](#)





REFERENCE LINK

[http://redbrickinspections.ca/docs/8\\_Insulation\\_Ventilation\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf)

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## INSULATION/VENTILATION

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### Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	32	Kraft Paper	Roof Gable

### Limitations

Roof Space Inspected from Access Hatch

Knee Wall Viewed From Access Hatch

Access Not Gained To Wall Space

### Observations/Recommendations

ROOF SPACE: insulation and ventilation is adequate  
unusual to be insulating rafters - not critical



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: Copper	Main Shut Off Valve at: Basement	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Copper	Water Heater Type: Tank-less Fuel Type: Gas Capacity: Age Yrs.: new Life Expectancy: 15

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

**Observations/Recommendations**

SUPPLY PIPING: all piping examined was in good repair

WATER HEATER: new high efficiency unit

WASTE PIPING: all piping examined was in good repair, reported upgraded to city sewer  
a back flow valve has been installed to the main waste drain

Washroom(s): overall in good repair

Whirlpool Tub: not tested - service before use

Kitchen(s) overall in good repair

REFERENCE LINK	<a href="http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf">http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf</a>			
25 Huntsmoor Rd	<b>INTERIOR</b>			March 25 2022
<b>Description</b>				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood Ceramic Tile	Plaster/Drywall	Plaster/Drywall	Casement Fixed Skylight(s) Sliders	Metal
Fireplaces:	Fireplace Fuel:			
<b>Limitations</b>				
Restricted/No Access To: _____		Foundation Not Visible <u>95</u> %		
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected		Drainage Tile Not Visible		
Storage/Furnishings in Some Areas Limited Inspection				
<b>Observations/Recommendations</b>				
<p>Floors/Walls/Ceilings: overall in good repair</p> <p>Trim/Cabinets/Counters: overall in good repair</p> <p>Windows/Doors: overall in good repair Window(s): various good quality units</p> <p>**Basement Leakage: presently no leaking detected with moisture meter random sampling</p>				
<p>CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law</p> <p>** Steps recommended in order to minimize basement leakage</p> <ol style="list-style-type: none"> <li>gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior</li> <li>cracks/form ties on foundation: monitor/repair as required</li> <li>excavation/damp-proofing: monitor basement, consider step 3 as a last resort</li> </ol> <p>Environmental/Health Concerns: <a href="http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf">http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf</a></p>				



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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