

HOME INSPECTION REPORT



9 Alhambra Ave

Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Nov 16 2022



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read Terms and Conditions:

<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: West*

ROOFING Not visible due to snow cover. Reported roof surface was replaced in 2019 - typical life expectancy is 20-yrns or more.

EXTERIOR Overall well maintained. Overall well built detached garage.

STRUCTURE Overall well built house.

ELECTRICAL The 200 AMP service size is adequate and the wiring is copper grounded and ungrounded -see details.

HEATING 2-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrns.

COOLING/
HEAT PUMPS 14-yr-old air-conditioner with a typical life expectancy of 15-yrns.

INSULATION/
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined.

PLUMBING The watermain has been upgraded and the supply piping in the house is copper with good water pressure overall. Reported a backflow valve has been installed to the main waste drain. Renovated washrooms and kitchen.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at www.redbrickinspections.ca <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

REFERENCE LINK		http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf		
9 Alhambra Ave		ROOFING/Chimneys		Nov 16 2022
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	?	Brick:	Southwest
Asphalt Shingles:	Porch(s):	?	Brick Abandoned:	Northeast
Asphalt Shingles:	Garage:	?		
Modified Bitumen:	Flat:	?		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
Binoculars	Snow	Height		
Observations/Recommendations				
Tree Branches: retain arbourist for annual monitoring/trimming				
Reported roof surface was replaced in 2019 - typical life expectancy is 20-yrns or more.				
Sloped Surface: not visible due to snow				
				
Flat Surface: not visible due to snow				
Garage: not visible due to snow				
				
Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)				

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Wood siding
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Limitations

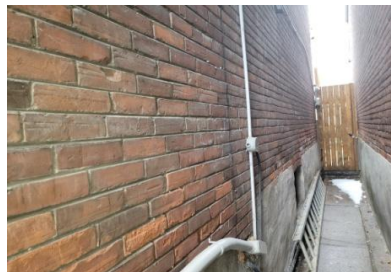
Exterior Inspection from Ground Level	Restricted Access Under Deck(s)
Snow over Decks/Porches	Grading Not Visible Due to Snow

Observations/Recommendations

****Gutters/Downspouts:** requires general repairs and maintenance, disconnected at rear extend 6-ft away from house



WALL SURFACES: overall in good repair
DOORS/WINDOWS: overall in good repair



DETACHED GARAGE: overall well built, exterior wall maintenance required and recommend installing gutters/downspouts

****Walk(s):** low area at southwest corner - repair and grade away from wall



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf

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STRUCTURE

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Description

Configuration: Basement:	Foundations: Stone Brick	Floor : Wood Joists	Walls : Masonry (Double-Brick) Masonry (Siding)	Roof/Ceiling Framing: Masonry Party Wall
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Limitations

Restricted Access to: Wall Space Roof Space Flat Roof Space	Foundation Wall Not Visible: <u>95</u> %
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Observations/Recommendations

overall well built house

WALLS:

Masonry: exterior walls typical surface spalling, monitor and repair as required



Description

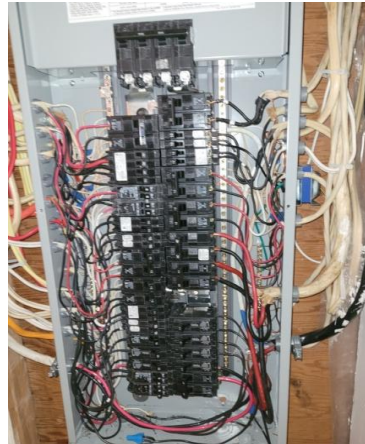
Service Size: 200 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 200 AMP	Type of material: Not Visible	Grounded & Ungrounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 200 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside
Auxiliary Panel(s):	Outlets	Bathroom(s)
Rating: AMP	Description: Grounded	
Description:	Number of Outlets: Typical	Arc Fault Circuit Interrupter:
Location:		Location:

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **overall in good repair**
 SERVICE PANEL: **overall in good repair**



BRANCH WIRING:

Knob & Tube: **observed in basement ceiling - appears to be disconnected**
random sampling determined the majority wiring has been upgraded
no knob and tube observed during random sampling of switches and wall plates,
loose wires in basement ceiling should be capped and secured

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	70 x1000BTU/hr	2 yrs.	20 yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

Limitations

[Heat Loss Calculations Not Done](#)
[Heat Exchanger- Inaccessible](#)

Furnace Performance

Supply Temp F:	120
Return Temp F:	70

Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)



Comments: [portable supplemental heater noted in 3rd level,](#)
[recommend installing fixed heater i.e. electric baseboard](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	30 x1,000 BTU/hr	14 yrs. old	15 to 20 yrs.

Limitations

Cannot Test With Low Outdoor Temp

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

AIR CONDITIONER: not tested: should be serviced before using
aging unit, continue servicing until replacement becomes necessary



Comments: 3rd level typically more difficult to cool- portable supplemental unit
in use, recommend budget for wall mounted ductless unit

REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

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INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting: Roof
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Limitations

[Access Not Gained To Wall Space](#)

[Access Not Gained To Roof Space](#)

Observations/Recommendations

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic	Water Heater Type: Tank-less Fuel Type: Gas Capacity: Age Yrs.: new Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: **upgraded to copper**

SUPPLY PIPING: **all piping examined was in good repair**

WASTE PIPING: **all piping examined was in good repair**
reported a back flow valve has been installed to the main waste drain

Washroom(s): **overall in good repair**

Kitchen(s) **overall in good repair**

Description

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Storm
Ceramic Tile			Casement	Metal
Laminate			Fixed	
			Fixed	
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			

Limitations

Restricted/No Access To: _____ Foundation Not Visible 95 %
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible
 Storage/Furnishings in Some Areas Limited Inspection

Observations/Recommendations

Floors: basement laminate: uneven in hall - overall cosmetic
 Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair
 3rd level windows are older - budget to replace

STAIRS: provide hand rails to third level steps

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician
 (www.wettinc.ca)

**Basement Leakage: presently no leaking detected with moisture meter random sampling
 typical efflorescence, staining and dampness for older foundation
 see steps below
 rear extension foundation damp-proofed to minimize leaking risk-
 sump pump not accessible due to storage

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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