

HOME INSPECTION REPORT



38 Pearson Ave
Toronto

Prepared for: [High Park Real Estate Group](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Jan 25 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read Terms and Conditions:
<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

*please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: South*

ROOFING Approx. 6-yr-old high quality asphalt shingles with a typical life expectancy of over 20-yrs.
Approx. 14-yr-old flat roof surface with a typical life expectancy of over 20-yrs.

EXTERIOR Overall well maintained. Newer detached garage in good repair.

STRUCTURE Overall well built house. The house is located in a neighbourhood with a termite history-
please see details

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper
grounded.

HEATING 5-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

**COOLING/
HEAT PUMPS** The air-conditioner is older. Continue servicing until replacement becomes necessary.

**INSULATION/
VENTILATION** Recommend additional insulation in the roof space to improve comfort and efficiency.
There is vermiculite insulation in roof space - see details.

PLUMBING The watermain has been upgraded and the supply piping in the house is copper with
good water pressure overall. The main waste drain to city sewer has been replaced.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at www.redbrickinspections.ca <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

REFERENCE LINK		http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf		
38 Pearson Ave		ROOFING/Chimneys		Jan 25 2023
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick:	Southwest
Modified Bitumen:	Flat:	Medium		
Asphalt Shingles:	Garage:	High		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
Binoculars	Height	Height		

Observations/Recommendations

Sloped Surface: [overall surface in good repair](#)



Flat Surface: [not accessible, observed from skylight though limited visibility, reported to be approx. 14-yr-old flat roof surface with a typical life expectancy of over 20-yrs.](#)

Chimney: [rebuilt and in good repair](#)



Garage(s): [aging shingles - budget to replace within 5-yrs](#)



[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

Description			
Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Metal Siding Insulbrick

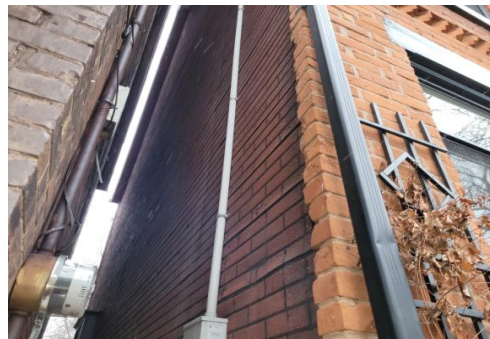
Limitations
Exterior Inspection from Ground Level Storage in Garage

Observations/Recommendations

WALL SURFACES:

- Brick: overall in good repair
- Metal Siding: overall in good repair
- Insulbrick: repair seams as required, budget to cover/replace with metal siding
may require covering with metal siding for insurance

DOORS/WINDOWS: overall in good repair, minor wood sill damage at front - repair if required



- DETACHED GARAGE:** well built detached garage, monitor tree near structure
- PORCH:** overall in good repair
- DECK:** older, continue to service floor boards

- **Walk(s): overall in good repair
- **Window Well: recommend cover



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

Description

Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Poured Concrete Stone	Wood Joists	Wood Frame(Brick Veneer) Wood Frame (Siding)	Wood Rafters/Joists
Crawl Space:	Poured Concrete Masonry Block		Frame/Drywall Party Wall	

Limitations

Restricted Access to: Wall Space Flat Roof Space	Foundation Wall Not Visible: <u>50</u> % Roof Space Inspected From Access Hatch
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Observations/Recommendations

Termites: evidence of past termite treatment, contact specialist for ongoing monitoring, re-treatment might be required in future

FOUNDATIONS: stone: repair mortar as required



FLOORS: typical sagging/sloping in some areas

FLOORS: basement/crawlspace shored up in some areas, overall performance is adequate, basement: if renovating will require structural engineer to evaluate and improve, continue to monitor

Wood Beam: minor termite damage- old, see above



ROOF: overall in good repair, typical staining for older house at under side, sheathing has been in stalled older over planks when roof was re-shingled



Description

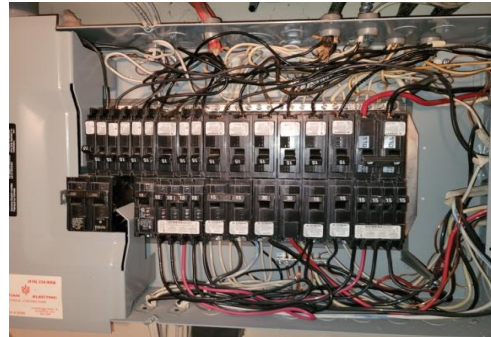
Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: Not Visible	Grounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: Grounded	
Description:	Number of Outlets:	Arc Fault Circuit Interrupter:
Location:		Location:

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **overall in good repair**
 SERVICE PANEL: **overall in good repair**



Abandoned: **random sampling determined the wiring has been upgraded throughout**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	45 x1000BTU/hr	5 yrs.	20 yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

Limitations

[Heat Loss Calculations Not Done](#)
[Heat Exchanger- Inaccessible](#)

Furnace Performance

Supply Temp F:	110
Return Temp F:	70

Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)



Registers: [central bedroom: located in closet - unusual- improve if required](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	21 yrs. old	15 to 20 yrs.

Limitations

[Cannot Test With Low Outdoor Temp](#)

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

HEAT PUMP: [not tested: should be serviced before using old unit, continue servicing until replacement becomes necessary](#)



Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Central:	12	Not Visible	Roof Ridge
Vermiculite:			None Found	
Fiberglass:	Crawl Space Floor:	12		
Fiberglass:	Cathedral:	32		

Limitations

Roof Space Inspected from Access Hatch Access Not Gained To Flat Roof
 Access Not Gained To Wall Space

Observations/Recommendations

ROOF SPACE: central:
 recommend upgrading insulation to improve comfort and efficiency

Vermiculite Insulation: insulation contains traces of asbestos - refer to Report by
 Envirosolve Canada February 7, 2023
 encapsulating the insulation is often the best approach
 Environmental Consultants can assist if this is a concern



Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Plastic Floor Drain	Water Heater Type: Conventional Fuel Type: Gas Capacity: 40 Gal Age Yrs.: 3 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: [upgraded to copper](#)

SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [all piping examined was in good repair](#)
 Basement Floor Drain: [replaced with plastic to city sewer](#)
[recommend installing backflow valve to main waste drain](#)



Washroom(s): [overall in good repair](#)

Kitchen(s) [overall in good repair](#)

Description				
Floor Finishes: Wood Ceramic Tile	Wall Finishes: Drywall	Ceiling Finishes: Drywall	Windows: Single/Double Hung Casement Awning Skylight(s)	Exterior Doors: Metal
Fireplaces: Masonry	Fireplace Fuel: Wood			

Limitations	
Restricted/No Access To: _____ CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Storage/Furnishings in Some Areas Limited Inspection	Foundation Not Visible <u>50</u> % Drainage Tile Not Visible

Observations/Recommendations

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair
Skylight(s): overall in good repair

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician (www.wettinc.ca) , firebox has been rebuilt

**Basement Leakage: typical efflorescence, staining and dampness for older foundation see steps below recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

- gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
- cracks/form ties on foundation: monitor/repair as required
- excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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