

HOME INSPECTION REPORT



566 Indian Rd
Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: March 14 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: **East***

ROOFING The roof surfaces through-out are overall in good repair. (note: limited visibility due to snow/height). The main flat roof is new with extension.

EXTERIOR Overall well maintained. See details for general repairs and maintenance.

STRUCTURE Overall well built house with new extension.

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.

HEATING Approx 10-yr-old high-efficiency gas-fired hot-water boiler with a typical life expectancy of 20-yrs.

COOLING/
HEAT PUMPS 8-yr-old air-conditioner with a typical life expectancy of 15-yrs.

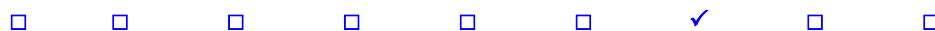
INSULATION/
VENTILATION Restricted access to majority of roof and wall spaces. Renovated spaces typically includes upgrading insulation. The house includes an HRV (heat recovery ventilator) to improve air quality and efficiency.

PLUMBING Overall good water pressure with copper and plastic supply piping. The washrooms and kitchen have recently been renovated and in good repair.

INTERIOR Renovated. The extension foundation has been damp-proofed which will minimize risk of basement leaking.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.






Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

REFERENCE LINK		http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf		
566 Indian Rd		ROOFING/Chimneys		March 14 2023
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick:	North
Not Determined	Flat:	Low new		
Asphalt Shingles:	Garage:	Medium		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
Binoculars	Height			
From Edge	Snow			
Observations/Recommendations				
Tree Branches: retain arbourist for annual monitoring/trimming				
Sloped Surface: overall surface in good repair				
Chimney(s): rebuilt and in good repair				
				
Flat Surface: could not access, newly built extension				
				
Garage: overall surface in good repair				
				
Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)				

Description

Gutters & Downspouts: Aluminum: Galvanized Steel:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Stucco Wood siding
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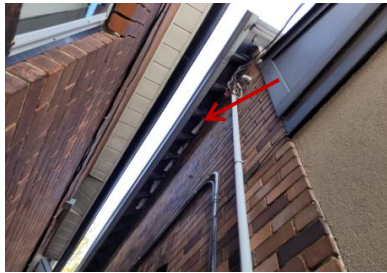
Limitations

Exterior Inspection from Ground Level
 Snow over Decks/Porches

Observations/Recommendations

****Gutters/Downspouts:** requires maintenance/cleaning, some older gutters, recommend installing for garage

WALL SURFACES: overall in good repair, install caulking to stucco/brick seams
Soffit & Fascia: requires maintenance/cleaning, budget to cap with metal on south side gaps



Step(s): porch: provide hand railings for safety

DETACHED GARAGE: older though some improvements to structure, typically ongoing repairs



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf

566 Indian Rd

STRUCTURE

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Description

Configuration: Basement:	Foundations: Poured Concrete	Floor : Wood Joists	Walls : Masonry (Double-Brick) Wood Frame (Siding) Wood Frame(Stucco Finish)	Roof/Ceiling Framing: Wood Rafters/Joists
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Limitations

Restricted Access to: Wall Space Flat Roof Space	Foundation Wall Not Visible: <u>90</u> % Roof Space Inspected From Access Hatch peak only limited access due to air handler/ducts
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Observations/Recommendations

overall well built house

ROOF: overall in good repair



Description

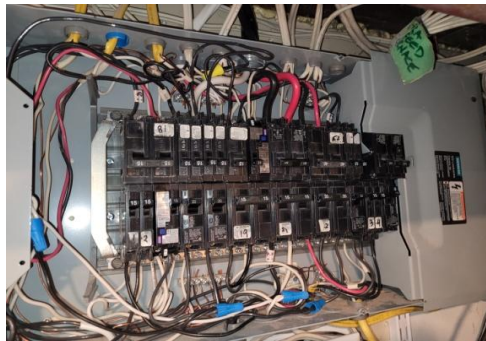
Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: panel obstructed by cat Grounded	
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 200 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside Panel
Auxiliary Panel(s):	Outlets	Bathroom(s)
Rating: 100 AMP	Description: Grounded	Garage
Description: Breakers	Number of Outlets: Upgraded	Arc Fault Circuit Interrupter:
Location: Basement		Location: Panel

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: overall in good repair
 SERVICE PANEL: overall in good repair
 Auxiliary Panel: overall in good repair, recent installation



BRANCH WIRING: random sampling determined the wiring has been upgraded throughout

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Hot Water Boiler: High 70 x1000BTU/hr 10 yrs. 20 yrs. Gas Meter-Exterior
Electric Radiant Heat:

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations

Heat Loss Calculations Not Done
Heat Exchanger- Limited Access

Boiler Performance

Pressure lbs/in2: 20
Temp Deg F: 120

Observations/Recommendations

HOT WATER BOILER: service annually

recommend obtaining replacement parts/servicing contract

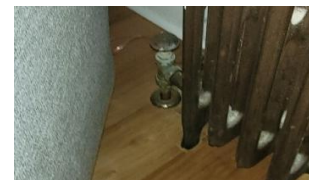
Comments: some components rusting- repair/replace as required

Piping: all piping/manifolds examined were in good repair



Radiator(s): many newer units

older units: monitor/repair valves as required



REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	8 yrs. old	10 to 15 yrs.

Limitations

[Cannot Test With Low Outdoor Temp](#)
[Outdoor Coil Covered](#)

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

AIR CONDITIONER: [not tested: should be serviced before using](#)
[recommend obtaining replacement parts/servicing contract](#)



Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	24	None Found	Roof Heat Recovery Ventilator

Limitations

Roof Space Inspected from Access Hatch Access Not Gained To Flat Roof
 Access Not Gained To Wall Space

Observations/Recommendations

ROOF SPACE: uneven distribution of insulation - improve/add insulation



Comments: renovated areas/extension typically includes insulation

Heat Recover Ventilator: service annually
 refer to owners manual



Description

Service Piping into House: Galvanized Steel	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Cast Iron Plastic Floor Drain	Water Heater Type: Tank-less Fuel Type: Gas Capacity: Age Yrs.: 5 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: [further evaluation to determine if copper](#)

SUPPLY PIPING: [all piping examined was in good repair](#)



WASTE PIPING: [all piping examined was in good repair](#)
Basement Floor Drain: [should be flush with floor, trap requires cleaning/servicing](#)
Piping: [new plastic cleanout pipe\(s\) at front yard indicates drain upgrades](#)
[main drain to city sewer- recommend video-scan](#)
[recommend installing backflow valve to main waste drain](#)



Comments: [lower basement floor should have drain - not determined due to floor finish](#)

Washroom(s): [overall in good repair, master recently renovated](#)

Whirlpool Tub: [older, not tested - service before use](#)

Kitchen(s) [new installations](#)

Description				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Wood			Casement	French
Ceramic Tile			Sliders	
			Fixed	
Fireplaces:	Fireplace Fuel:		Double Glazing	
Masonry	Wood			

Limitations	
Restricted/No Access To: _____	Foundation Not Visible <u>90</u> %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected	Drainage Tile Not Visible
Storage/Furnishings in Some Areas Limited Inspection	
Absence of Historical Clues due to New Finishes/Paint	

Observations/Recommendations

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair
cracked window

STAIRS: provide hand rails to basement steps

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician (www.wettinc.ca)

**Basement Leakage: presently no leaking detected with moisture meter random sampling typical efflorescence, staining and dampness for older foundation see steps below
new west foundation damp-proofed to minimize leaking risk
service sump pump annually
recommend back up battery for sump pump

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

- gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
- cracks/form ties on foundation: monitor/repair as required
- excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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