

HOME INSPECTION REPORT



179 Indian Rd
Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: May 25 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: West*

ROOFING The roof surfaces through-out are overall in good repair. Reported to be 10-yr-old asphalt shingles with a typical life expectancy of 20-yrs.

EXTERIOR Overall well maintained. See details for general repairs and maintenance.

STRUCTURE Overall well built house.

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.

HEATING 23-yr-old gas-fired hot-water boiler with a typical life expectancy of 25-30-yrs.

**COOLING/
HEAT PUMPS** The air-conditioner is older. Continue servicing until replacement becomes necessary.

**INSULATION/
VENTILATION** Recommend additional insulation in the roof space to improve comfort and efficiency.

PLUMBING The watermain has been upgraded and the supply piping in the house is copper with good water pressure overall. Older main waste drain. The washrooms and kitchen have recently been renovated and in good repair.

INTERIOR Overall well maintained. The north foundation has been damp-proofed which will minimize risk of basement leaking.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

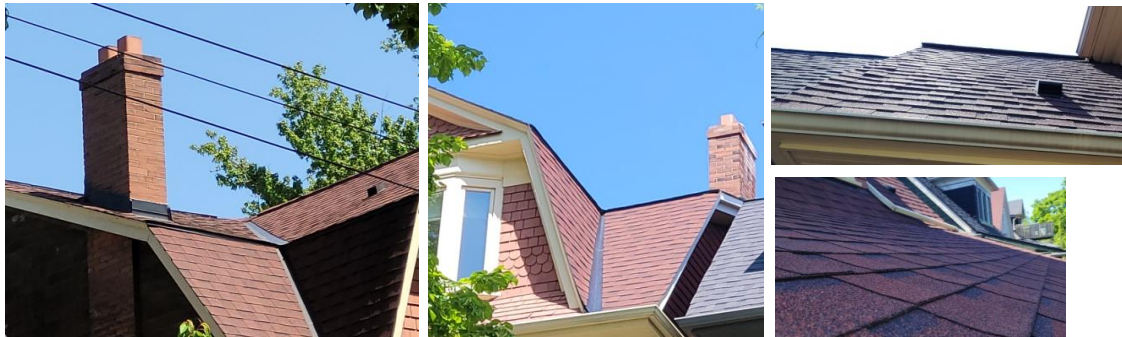
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick:	North
Asphalt Shingles:	Garage:	Low	Brick:	South
Not Visible	Flat:	? deck		

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
Binoculars	Height	Slope
From Edge	Deck	

Observations/Recommendations

Tree Branches: [retain arbourist for annual monitoring/trimming](#)

Sloped Surface: [overall surface in good repair, reported to be 10-yr-old asphalt shingles with a typical life expectancy of 20-yrs.](#)



Porch(s): [overall surface in good repair](#)

Garage: [overall surface in good repair](#)



Chimney(s): [overall in good repair](#)
[recommend install rain/screen caps to clay liners](#)

Flat Surface: [2nd level rear deck - roof surface not accessible](#)

[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Below/Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Wood Shingles Metal Siding
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Limitations

Exterior Inspection from Ground Level	Restricted Access Under Porch(es)
Restricted Access Under Deck(s)	

Observations/Recommendations

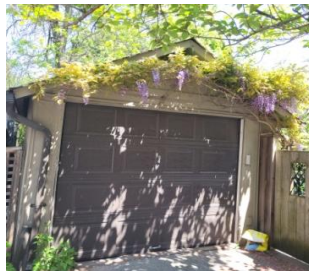
**Gutters/Downspouts: requires maintenance/cleaning
 **Walk(s): overall in good repair
 **Driveway(s): budget for repairs /re-surfacing
 WALL SURFACES:
 Brick: overall in good repair
 Wood Shingles: overall in good repair
 DOORS/WINDOWS: overall in good repair
 Soffit & Fascia: overall in good repair, budget for general maintenance/painting
 missing flashing on south side- minor



**Window Well: front basement window: may require window well



PORCH overall in good repair
 DECK lower and upper overall in good repair
 DETACHED GARAGE: older, typically ongoing repairs, wood plank floor over ground
 may become more cost effective to replace
 bottom perimeter prone to rot - repair as required, budget to repair perimeter



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf

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STRUCTURE

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Description

Configuration: Basement:	Foundations: Stone Brick	Floor : Wood Joists	Walls : Masonry (Double-Brick) Wood Frame (Siding)	Roof/Ceiling Framing: Wood Rafters/Joists
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Limitations

Restricted Access to: Wall Space Flat Roof Space Knee Wall Areas	Foundation Wall Not Visible: <u>75</u> % Roof Space Inspected From Access Hatch
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Observations/Recommendations

overall well built house

ROOF: overall in good repair



Description

Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: Not Visible	Grounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside
Auxiliary Panel(s):	Outlets	Bathroom(s)
Rating: AMP	Description: Grounded	
Description:	Number of Outlets: Upgraded	Arc Fault Circuit Interrupter:
Location:		Location:

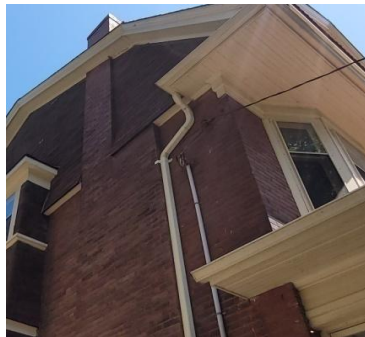
Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **overall in good repair**

SERVICE PANEL: **overall in good repair**



Service Size: **likely will require upgrading to 200 amp service if renovating basement**

BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

Knob & Tube: **all wiring examined was disconnected**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Hot Water Boiler: Mid 175 x1000BTU/hr 23 yrs. 25 to 30 yrs. Gas Meter-Exterior
Electric Heater(s):

Exhaust Vent Arrangement: Metal Through Masonry Chimney

Limitations

Heat Loss Calculations Not Done Summer Test Procedure
Heat Exchanger- Inaccessible

Boiler Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

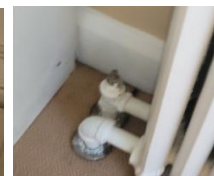
HOT WATER BOILER: service annually
continue servicing until replacement becomes necessary
annual CO test mandatory for this type of unit
reported that unit has been serviced annually
recommend obtaining replacement parts/servicing contract



Piping: insulation on various heating pipes may contain asbestos
encapsulating the insulation is often the best approach
Environmental Consultants can assist if this is a concern



Radiator(s): overall in good repair
monitor/repair valves as required



REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	36 x1,000 BTU/hr	23 yrs. old	15 to 20 yrs.

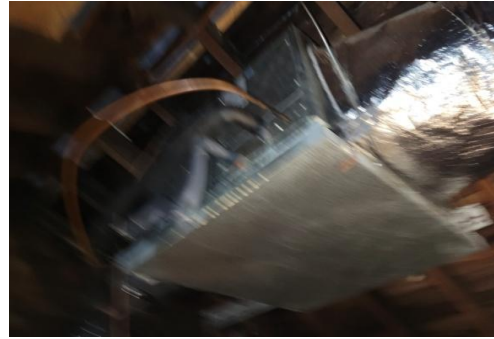
Limitations

Cooling Performance

Supply Temp F:	60
Return Temp F:	70

Observations/Recommendations

AIR CONDITIONER: old unit, continue servicing until replacement becomes necessary
consider replacing with new unit for improved efficiency



REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

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INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	24	None Found	Roof Ridge

Limitations

Access Not Gained To Wall Space
Roof Space Inspected from Access Hatch

Observations/Recommendations

ROOF SPACE: recommend upgrading insulation to improve comfort and efficiency
recommend improving ventilation with soffit vents
Roof Access Hatch: insulate and weather-strip access hatch to roof space



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Cast Iron Clay Floor Drain	Water Heater Type: Conventional Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 23 Life Expectancy: 20

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: upgraded to 2 inch copper which is above average

SUPPLY PIPING: all piping examined was in good repair

WATER HEATER: old, contact utility to replace, remove oil dispensers from top of tank

WASTE PIPING:

Stack: older, upgrade as required or renovating

Basement Floor Drain: suspect older main drain, recommend video-scan, risk of tree roots
may require repairs/replacement (if renovating)
recommend installing backflow valve to main waste drain

Basement Toilet: old - replace

Washroom(s): various older fixtures though functional, continue to service as required

Kitchen(s) overall in good repair

Description				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Ceramic Tile			Casement	Metal
Resilient			Fixed	
Fireplaces:	Fireplace Fuel:			
Masonry	Wood	x3		

Limitations	
Restricted/No Access To: excessive storage in some areas	Foundation Not Visible <u>75</u> %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected	Drainage Tile Not Visible
Storage/Furnishings in Some Areas Limited Inspection	

Observations/Recommendations

Ceilings: 2nd level front: suspect areas (prior leaking) were tested dry
 Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: various upgraded units, upgrade/repair older units as required
 interior pocket doors: some maintenance required

Fireplaces: recommend chimney sweep/inspection by W.E.T.T. Certified technician
 (www.wettinc.ca)
 hall: not in use- further evaluation to determine options and/or restoring

**Basement Leakage: north foundation damp-proofed to minimize leaking risk
 typical efflorescence, staining and dampness for older foundation
 see steps below
 recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

- gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
- cracks/form ties on foundation: monitor/repair as required
- excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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