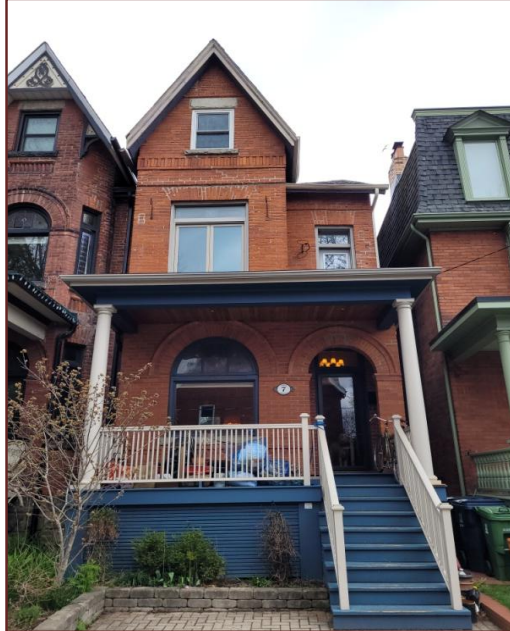


HOME INSPECTION REPORT



7 Cowan Ave
Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: April 18 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report

For the purposes of this report,
the front of the house is considered
to be facing: **West**

ROOFING Slate shingles overall in good repair- ongoing maintenance. Asphalt shingles in good repair. Porch roof newer in good repair. Rear flat roof is older.

EXTERIOR Overall well maintained. See details for general repairs and maintenance.

STRUCTURE Overall well built house. Main level floor has been shored up when renovated.

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.

HEATING 11-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

**COOLING/
HEAT PUMPS** The air-conditioner is older. Continue servicing until replacement becomes necessary. 9-yr-old ductless heat pump with a typical life expectancy of 15-yrs.

**INSULATION/
VENTILATION** Restricted access to roof and wall spaces therefore insulation not determined. Renovation typically includes upgrading insulation.

PLUMBING The watermain has been upgraded and the supply piping in the house is copper with good water pressure overall. The washrooms and kitchen are in good repair. Further evaluation to main waste drain -see details.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Slate	West Slope:	Medium	Brick Shared:	North
Asphalt Shingles:	East Slope:	Low		
Modified Bitumen:	Porch(s):	Low	front	
Modified Bitumen:	Flat:	High	rear	

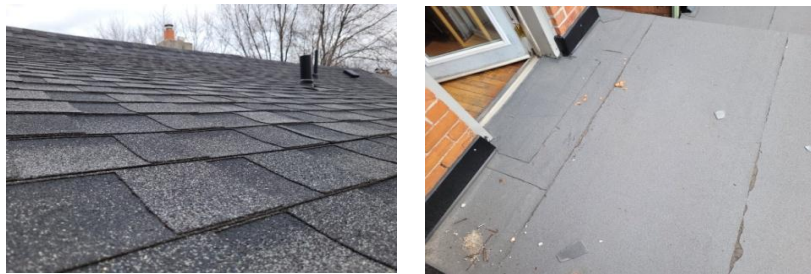
Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
Binoculars Walking On From Edge	Height Deck Height	

Observations/Recommendations

West Slope: overall in good repair, some loose shingles-repair, annual maintenance



East Slope: overall surface in good repair
Porch(s): overall surface in good repair, door requires rail for safety



Flat Surface: older, pooling, requires cleaning, continue to maintain, budget to replace including old deck



Chimney(s): overall in good repair

Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Wood siding
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Limitations

Exterior Inspection from Ground Level	Inaccessible Wall
Restricted Access Under Deck(s)	

Observations/Recommendations

****Gutters/Downspouts:** requires general repairs and maintenance

WALL SURFACES:

Brick: overall in good repair, minor surface spalling, repair as required

Wood siding: overall in good repair, requires repairs at bottom unit, requires stain/painting

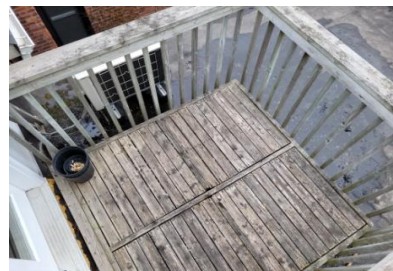
DOORS/WINDOWS: various older units: requires general repairs and maintenance and/or budget to replace

Soffit & Fascia: front: require general repairs and maintenance



PORCH rebuilt/restored in good repair, paint as required

DECK old, budget to replace



****Driveway(s):** overall in good repair

****Walk(s):** minor settlement of pavers, monitor for pooling, re-grade if required

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

Description

Configuration: Basement:	Foundations: Stone	Floor : Wood Joists	Walls : Masonry (Double-Brick)	Roof/Ceiling Framing: Not Visible
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Limitations

Restricted Access to: Wall Space Roof Space Flat Roof Space	Foundation Wall Not Visible: <u>60</u> %
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Observations/Recommendations

overall well built house

FOUNDATIONS: overall in good repair
older foundation typical to repair mortar as required



FLOORS:

Stair Opening: minor sagging around stair areas though typical for older house
basement steps have been shored up with wood framing

FLOORS: main floor: shored up with steel beams and metal posts



WALLS:

Masonry: prior mortar repairs typical



Description

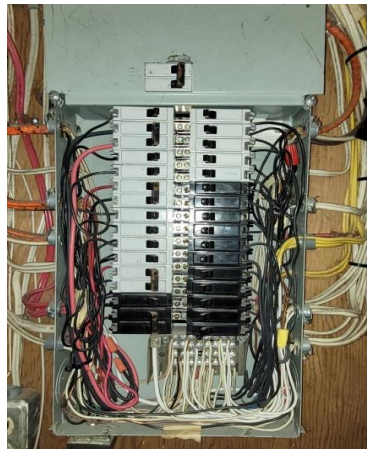
Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: Not Visible	Grounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside Kitchen Bathroom(s)
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: Grounded	
Description:	Number of Outlets: Typical	Arc Fault Circuit Interrupter:
Location:		Location:

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: overall in good repair
 SERVICE PANEL: crowded, double taps (two wires connect to one breaker), install larger panel if required/renovating



BRANCH WIRING: random sampling determined the wiring has been upgraded throughout basement -some wires in contact with ducts- repair

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK

http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel Type:	Shut Off at:
Forced Air Furnace:	High	70 x1000BTU/hr	11 yrs.	20 yrs.	Gas	Meter-Exterior
Electric Heater(s):						

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

Limitations

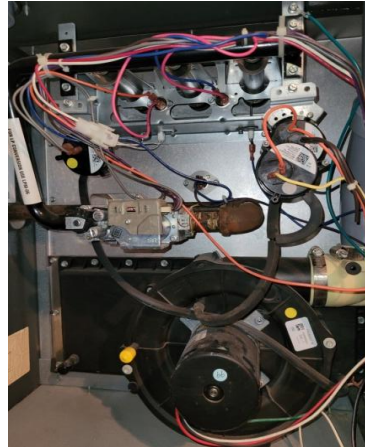
[Heat Loss Calculations Not Done](#)
[Heat Exchanger- Inaccessible](#)

Furnace Performance

Supply Temp F: [120](#)
Return Temp F: [70](#)

Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)
[recommend obtaining replacement parts/servicing contract](#)
 Filter: [replace 1-per-3 months](#)



Ducts: [basement: some units \(flexible\) lower quality,](#)
[consider replacing, one unit disconnected rear of basement](#)



ELECTRIC HEATERS(s): [inoperative - service](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

7 Cowan Ave

COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	30 yrs. old	15 to 20 yrs.
Heat Pump (air-cooled)	12 x1,000 BTU/hr	9 yrs. old	

Limitations

Cannot Test With Low Outdoor Temp

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

AIR CONDITIONER: old unit, continue servicing until replacement becomes necessary consider replacing with new unit for improved efficiency



HEAT PUMP: 3rd level ductless: service annually



REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

7 Cowan Ave

INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
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Limitations

Access Not Gained To Wall Space

Access Not Gained To Roof Space

Access Not Gained To Flat Roof

Observations/Recommendations

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Cast Iron	Water Heater Type: Conventional Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 10 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

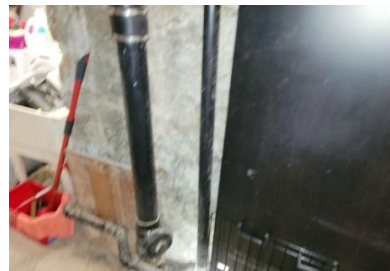
Observations/Recommendations

WATERMAIN: upgraded to copper

SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair

Basement Floor Drain: basement floor drain not found, further evaluation required



Kitchen(s) overall in good repair

Washroom(s): overall in good repair

Description

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Ceramic Tile			Fixed	Metal
			Casement	French
Fireplaces:	Fireplace Fuel:			
Non-Functional				

Limitations

Restricted/No Access To: excessive storage in some areas Foundation Not Visible 60 %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible
Storage/Furnishings in Some Areas Limited Inspection

Observations/Recommendations

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: various upgraded units, upgrade older units as required

STAIRS: provide hand rails to basement steps

**Basement Leakage: typical efflorescence, staining and dampness for older foundation
see steps below
recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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