

HOME INSPECTION REPORT



108 Cowan Ave
Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Sept 19 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: East*

ROOFING Some surfaces aging though shingles overall in good repair- see details

EXTERIOR Overall well maintained.

STRUCTURE Overall well built house.

ELECTRICAL See details regarding older mast and 60 amp main fuse box- should be upgraded. Wires (service drop) appear to service 100 AMPs. The distribution wiring has been upgraded to copper grounded.

HEATING 7-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/
HEAT PUMPS 7-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined.

PLUMBING The watermain has been upgraded and the supply piping in the house is copper and plastic with good water pressure overall. The main waste drain has been replaced. The washrooms and kitchen are in good repair.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.


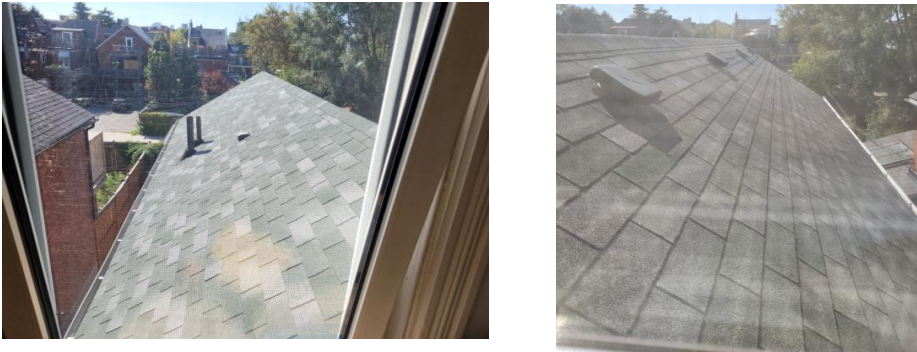

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

REFERENCE LINK		http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf		
108 Cowan Ave		ROOFING/Chimneys		Sept 19 2023
Description				
Roofing Material:	Location:	Leakage Probability:		Chimney(s) Type: Location:
Asphalt Shingles:	Main Slope:	Low	front	
Asphalt Shingles:	Slope:	Low	rear	
Asphalt Shingles:	Garage:	Low		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
From Grade	Height			
Observations/Recommendations				
Tree Branches: retain arbourist for annual monitoring/trimming				
Comments: some surfaces aging though overall in good repair				
Main Slope: aging shingles, budget to replace within 5 yrs.				
Chimney: rebuilt and in good repair				
				
2nd Slope: south overall surface in good repair north side appears more aging surface, budget to replace within 5 yrs.				
				
Garage: overall surface in good repair north side more aging surface, budget to replace within 5 yrs.				
				
Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)				

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Below/Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Vinyl Siding
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Limitations

Exterior Inspection from Ground Level
Storage in Garage

Observations/Recommendations

**** Downspouts:** extend 6-ft away from house
WALL SURFACES:
 Brick: overall in good repair, minor surface spalling typical for older house, replace bricks/mortar maintenance as required
 Soffit & Facia: overall in good repair
DOORS/WINDOWS: overall in good repair



PORCH: overall in good repair
DETACHED GARAGE: wood siding requires maintenance, staining sheathing along edge minor-repair when replacing shingles, car door - replace with auto reverse for safety



****Walk(s):** re-grade away fro house at rear south along extension, seal gap around crawl space



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

Description

Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Stone	Wood Joists	Masonry (Double-Brick)	No Access
Crawl Space:	Not Visible		Wood Frame (Siding)	

Limitations

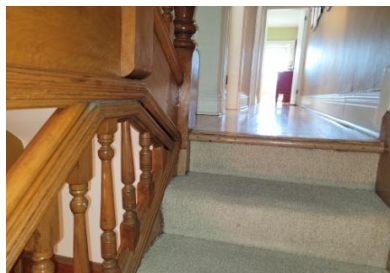
Restricted Access to:	Foundation Wall Not Visible: <u>90</u> %
Wall Space	
Roof Space	
Attic Space	

Observations/Recommendations

ROOF: did not access rear roof access hatch - safety concern

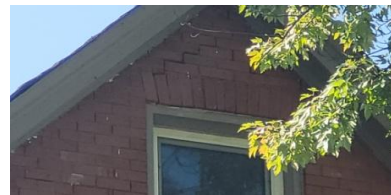
FLOORS:

Stair Opening: minor sagging around stair areas though typical for older house



WALLS:

Masonry Arch: front entrance: minor/typical crack repair - monitor
 front upper window: minor typical crack requires mortar repair



FOUNDATIONS: rear south: holes/metal caps - reported to be support bolts from prior deck



Description

Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 60 AMP	Type of material: Copper	Grounded
Description: Fuses		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside
Auxiliary Panel(s):	Outlets	Bathroom(s)
Rating: 100 AMP	Description: Grounded	
Description: Breakers	Number of Outlets: Upgraded	Arc Fault Circuit Interrupter:
Location: Basement		Location:

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE:

Mast: **older, recommend upgrading to 100 or 200 AMP**

Main Disconnect: **older 60 AMP service, recommend upgrading to 100 or 200 AMP**

SERVICE PANEL: **likely will require upgrading with above to larger panel**



Auxiliary Panel: **overall in good repair**



BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

GFCI: **provide to basement washroom outlet**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Forced Air Furnace: High 90 x1000BTU/hr 7 yrs. 20 yrs. Gas Meter-Exterior
Electric Heater(s):

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations

Heat Loss Calculations Not Done
Heat Exchanger- Inaccessible

Furnace Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)

Filter: [replace 1-per-6 to 12 months](#)
[recommend obtaining replacement parts/servicing contract](#)



Registers: [some older arrangement \(shared registers between rooms\)](#)
[typical for age of house, might require additional unit at front main level](#)

ELECTRIC HEATERS(s): [tested functional](#)

Oil Piping: [abandoned: oil tank removed](#)



REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	36 x1,000 BTU/hr	7 yrs. old	15 to 20 yrs.

Limitations

Cooling Performance

Supply Temp F:	55
Return Temp F:	70

Observations/Recommendations

AIR CONDITIONER: [service annually](#)



Comments: [3rd level typically more difficult to cool- may require supplemental unit](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

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INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting: Roof
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Limitations

Access Not Gained To Wall Space Access Not Gained To Roof Space
Access Not Gained To Crawl Space

Observations/Recommendations

ROOF SPACE: did not access rear roof access hatch - safety concern

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Cast Iron Plastic Floor Drain	Water Heater Type: Conventional Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 7 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: upgraded to copper

SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair
 new plastic cleanout pipe(s) at front yard indicates drain upgrades
 new floor drain indicates drain upgrades
 report main waste drain upgraded to city sewer
 recommend installing backflow valve to main waste drain

Washroom(s): overall in good repair
 Basement Toilet: older, noisy, replace if required

Kitchen(s) overall in good repair
 stiff faucet

Description

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Ceramic Tile			Casement	Sliding Glass
Carpet			Fixed	
Resilient				
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			

Limitations

Restricted/No Access To: _____ Foundation Not Visible 90 %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible
Storage/Furnishings in Some Areas Limited Inspection

Observations/Recommendations

Ceilings: general maintenance in various areas

Walls: overall in good repair, basement: some mouldy drywall - remove

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair

STAIRS: railing height low - safety concern

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician
(www.wettinc.ca)

**Basement Leakage: presently no leaking detected with moisture meter random sampling
typical efflorescence, staining and dampness for older foundation
see steps below
recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life
safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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