

HOME INSPECTION REPORT



544 Indian Rd

Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Sept 12 2023



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: South*

ROOFING The roof surfaces through-out are overall in good repair.

EXTERIOR Anticipate landscaping improvements. Older detached garage. See details for general repairs and maintenance. Tree trimming required.

STRUCTURE Overall well built house.

ELECTRICAL 60 AMP service size requires upgrading for insurance. In addition to some upgraded wiring there is knob and tube wiring-please see details.

HEATING The gas-fired hot-water-boiler is older and requires further evaluation by specialist.

COOLING/
HEAT PUMPS none

INSULATION/
VENTILATION Roof space insulation and ventilation is adequate

PLUMBING Overall good water pressure with copper supply piping. The main drain has been replaced. The washrooms and kitchen are older.

INTERIOR Main level windows have been upgraded. Anticipate renovations.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

Description				
Roofing Material: Asphalt Shingles:	Location: Slope:	Leakage Probability: Low	Chimney(s) Type: Brick: Brick:	Location: North East

Limitations		
Roof Inspected By: From Grade From Edge	Access Limited By:	Chimney Access Limited By:

Observations/Recommendations

Tree Branches: [retain arbourist for annual monitoring/trimming](#)

Sloped Surface: [overall surface in good repair](#)



Chimney(s): [overall in good repair](#)



Garage: [overall surface in good repair, see Exterior Garage](#)



[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Towards House Away From House	Walls & Wall Structures: Brick
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Limitations

Exterior Inspection from Ground Level	Storage in Garage
Flora Against Building Restricted Inspection	

Observations/Recommendations

****Gutters/Downspouts:** requires general repairs and maintenance
may become more cost effective to replace

WALL SURFACES:

Brick: overall in good repair

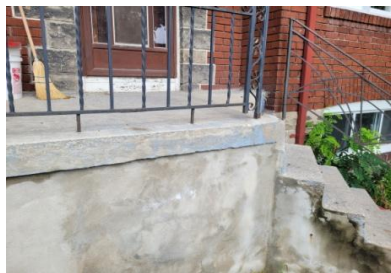
DOORS/WINDOWS: overall in good repair



PORCH some settlement noted - monitor, budget to repair

DETACHED GARAGE: older, typically ongoing repairs

may become more cost effective to replace



****Landscaping:** rear: budget to grade around house, front: budget to install retaining walls



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

**** Any or all these items may contribute to Basement Leakage. Please see Interior Page**

Description

Configuration: Basement:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Masonry (Double-Brick)	Roof/Ceiling Framing: Wood Rafters/Joists
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Limitations

Restricted Access to: Wall Space	Foundation Wall Not Visible: <u>75</u> % Roof Space Inspected From Access Hatch
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Observations/Recommendations

overall well built house

WALLS:

Masonry Arch: front: typical settlement cracks, repair and monitor



ROOF: overall in good repair



Description

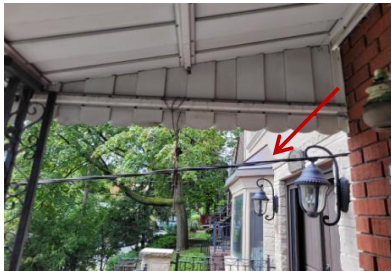
Service Size: 60 AMP (240volts)	Service Entrance Cable: Location: Overhead	Distribution Wire: Copper
Main Disconnect/Service Box Rating: 60 AMP	Type of material: Not Visible	Grounded & Ungrounded Knob-and-Tube-Copper
Description: Fuses		
Location: Basement		
Distribution Panel Rating: 100 AMP	System Grounding: Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter: Location:
Location: Basement		
Auxiliary Panel(s): Rating: AMP	Outlets Description: Grounded/Ungrounded	Kitchen
Description:	Number of Outlets: Typical	Arc Fault Circuit Interrupter: Location:
Location:		

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **wires close to grade - contact utility to repair**
 Mast: **older mast: upgrade as required/renovating**
 Service Size: **upgrade to 100 amp service**
 SERVICE PANEL: **upgrade to larger panel**



BRANCH WIRING:

Knob & Tube: **based on random sampling suspect over 50% recommend upgrading**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Hot Water Boiler: Low 100 x1000BTU/hr 30+ yrs. 30+ yrs. Gas Meter-Exterior

Exhaust Vent Arrangement: [Metal Through Masonry Chimney](#)

Limitations

[Heat Loss Calculations Not Done](#) [Summer Test Procedure](#)
[Heat Exchanger- Limited Access](#)

Boiler Performance

Pressure lbs/in2: 10

Observations/Recommendations

HOT WATER BOILER: [continue servicing until replacement becomes necessary](#)
[annual CO test mandatory for this type of unit](#)
[recommend upgrading to high efficiency unit](#)



Radiator(s): [monitor/repair valves as required](#)
[provide in kitchen when renovating](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description : none

Description:	Cooling Capacity: x1,000 BTU/hr	Approx. Age: yrs. old	Typical Life Expectancy: yrs.
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Limitations

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

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INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Cellulose:	Main Roof:	32	None Found	Roof

Limitations

Roof Space Inspected from Access Hatch

Access Not Gained To Wall Space

Observations/Recommendations

ROOF SPACE: overall insulation and ventilation is adequate



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Cast Iron Galvanized Steel Copper Lead Plastic Floor Drain	Water Heater Type: Conventional Fuel Type: Electricity Capacity: 40 Gal Age Yrs.: 1 Life Expectancy: 20

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: [upgraded to copper](#)

SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [replace older piping when renovating](#)

Basement Floor Drain: [upgraded to plastic,](#)
[new plastic cleanout pipe\(s\) at front yard indicates drain upgrades](#)
[recommend installing backflow valve to main waste drain when renovating](#)

Basement Washroom: [older, anticipate upgrades](#)

Main Level Washroom: [overall in good repair](#)

Kitchen(s) [older, anticipate upgrades](#)

Description

Floor Finishes: Wood Ceramic Tile	Wall Finishes: Plaster/Drywall	Ceiling Finishes: Plaster/Drywall	Windows: Single/Double Hung Sliders Fixed Double Glazing	Exterior Doors: Wood
Fireplaces: Masonry Non-Functional	Fireplace Fuel: Wood			

Limitations

Restricted/No Access To: _____	Foundation Not Visible <u>75</u> %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected	Drainage Tile Not Visible

Observations/Recommendations

Floors: older tile suspect to contain asbestos
 encapsulating is often the best approach
 Environmental Consultants can assist if this is a concern

Trim/Cabinets/Counters: anticipate renovations

Window(s): main level: upgraded double glazed units

FIREPLACE: not in use- further evaluation to determine options and/or restoring
 recommend chimney sweep/inspection by W.E.T.T. Certified technician

**Basement Leakage: presently no leaking detected with moisture meter random sampling
 typical efflorescence, staining and dampness for older foundation
 see steps below
 recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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