

# HOME INSPECTION REPORT



506 Riverside Dr  
Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: Oct 4 2023



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

\* please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: East*

ROOFING The roof surfaces through-out are overall in good repair. Aging on south side.

EXTERIOR Overall well maintained. See details for general repairs and maintenance.

STRUCTURE Overall well built house.

ELECTRICAL The 200 AMP service size is adequate and the wiring has been upgraded to copper grounded.

HEATING The gas-fired hot-water boiler is older. Continue servicing until replacement becomes necessary.

COOLING/  
HEAT PUMPS The ductless air-conditioner is older. Continue servicing until replacement becomes necessary.

INSULATION/  
VENTILATION The insulation in the attic has been improved which will improve comfort and efficiency.

PLUMBING Overall good water pressure with copper supply piping. Further evaluation to main waste drain. The washrooms and kitchen are overall in good repair.

INTERIOR Overall well maintained. There is some evidence of basement leaking at southeast- see details.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:*

[www.redbrickinspections.ca](http://www.redbrickinspections.ca)

Description				
Roofing Material:	Location:	Leakage Probability:		Chimney(s) Type:
Asphalt Shingles:	Slope:	Low		Brick:
Modified Bitumen:	Flat:	Low	upper deck	Brick:
				Location:
				South
				North

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Edge	Height	Height
From Grade	Slope	

**Observations/Recommendations**

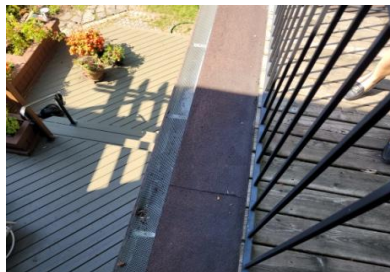
Sloped Surface: overall surface in good repair, aging on south side, budget to replace within 5 yrs.  
 Chimney(s): overall in good repair



Skylight(s): overall in good repair



Flat Surface: overall in good repair, minor surface cracking, limited visibility due to deck



Porch(s): front entrance - service roof surface

Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat House Above Ravine	Walls & Wall Structures: Brick
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**Limitations**

Exterior Inspection from Ground Level  
 Underside of Deck(s) Inspected from Access Door

**Observations/Recommendations**

**\*\*Gutters/Downspouts:** requires maintenance/cleaning  
 Comments: retain arbourist for annual monitoring/trimming - see Retaining Wall below  
**WALL SURFACES:** overall in good repair  
 Soffit & Fascia: overall in good repair  
**DOORS/WINDOWS:** overall in good repair, maintain wood components as required



**PORCH** overall in good repair, wood base of columns - monitor/repair as required  
**DECK** overall in good repair, recently painted



**RETAINING WALL:** ravine: minor movement - continue to monitor/repair as required,  
 cliff slope/flora appears stable though requires monitoring - retain specialist



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

**Description**

Configuration: Basement:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Masonry (Double-Brick)	Roof/Ceiling Framing: Wood Rafters/Joists
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**Limitations**

Restricted Access to: Wall Space Flat Roof Space	Foundation Wall Not Visible: _____ % Roof Space Inspected From Access Hatch
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**Observations/Recommendations**

overall well built house

WALLS:

Masonry: general mortar repairs as required



ROOF: overall in good repair, large space with 3rd level potential



**Description**

Service Size: <b>200</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>200</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>200</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location: <b>Outside</b>
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating: AMP	Description: <b>Grounded</b>	
Description:	Number of Outlets: <b>Upgraded</b>	Arc Fault Circuit Interrupter:
Location:		Location: <b>Panel</b>

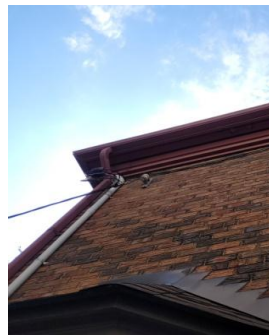
**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

SERVICE ENTRANCE: **overall in good repair**

SERVICE PANEL: **overall in good repair**



BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

GFCI: **provide to basement washroom outlet**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

**Description**

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:  
 Hot Water Boiler: Low 130 x1000BTU/hr 26 yrs. 20+ yrs. Gas Meter-Exterior  
 Electric Heater(s):

Exhaust Vent Arrangement: [Metal Through Masonry Chimney](#)

**Limitations**

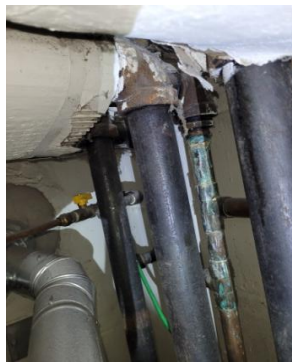
[Heat Loss Calculations Not Done](#)  
[Heat Exchanger- Inaccessible](#)

**Boiler Performance**

Pressure lbs/in2: 10

**Observations/Recommendations**

HOT WATER BOILER: [not tested: should be serviced before using](#)  
[continue servicing until replacement becomes necessary](#)  
[annual CO test mandatory for this type of unit](#)  
[some corroded connections - service repair](#)



Piping: [insulation on heating pipes may contain asbestos](#)  
[encapsulating the insulation is often the best approach](#)  
[Environmental Consultants can assist if this is a concern](#)



Radiator(s): [monitor/repair valves as required](#)

ELECTRIC HEATERS(s): [servicing various basement areas](#)

REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

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## COOLING/Heat Pumps

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### Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Ductless (water-cooled)	? x1,000 BTU/hr	15+ yrs. old	15 to 20 yrs.

### Limitations

#### Cooling Performance

Supply Temp F:	55
Return Temp F:	70

### Observations/Recommendations

DUCTLESS A/C: old unit, continue servicing until replacement becomes necessary  
presently cooling adequately





REFERENCE LINK

[http://redbrickinspections.ca/docs/8\\_Insulation\\_Ventilation\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf)

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# INSULATION/VENTILATION

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## Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Cellulose:	Main Roof:	40	None Found	Roof Roof Ridge Roof Soffit

## Limitations

Roof Space Inspected from Access Hatch

Access Not Gained To Wall Space

## Observations/Recommendations

ROOF SPACE: insulation and ventilation is adequate

insulation has been improved which will improve comfort and efficiency

Roof Access Hatch: insulate and weather-strip access hatch to roof space



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Under Steps	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Cast Iron Clay Floor Drain	Water Heater Type: Conventional Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 13 Life Expectancy: 15

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

**Observations/Recommendations**

Main Shut Off Valve: under basement steps  
 WATERMAIN: located under rec room sub floor to front basement wall - unusual arrangement - relocate meter to front of basement wall if renovating

WATERMAIN: all piping examined was in good repair



WASTE PIPING: all piping examined was in good repair  
 Laundry Floor Drain: appears does not have trap - prone to odours - further evaluation  
 Basement Floor Drain: limited access due to carpet/pool table - as above further evaluation, suspect older main drain, recommend video-scan, risk of tree roots may require repairs/replacement (and if renovating) recommend installing backflow valve to main waste drain

Basement Washroom: general faucet repairs required

Main Level Washroom: overall in good repair

2nd Level Washroom: overall in good repair

**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Casement	Metal
Carpet			Fixed	Sliding Glass
Ceramic Tile			Skylight(s)	French
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			
Insert	Gas			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 0 %  
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
 Storage/Furnishings in Some Areas Limited Inspection

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair  
 various upgraded units, upgrade older units as required  
 screen missing in upper front unit

Fireplaces:  
 Insert: service annually  
 Masonry: recommend chimney sweep/inspection by W.E.T.T. Certified technician  
 ([www.wettinc.ca](http://www.wettinc.ca))

\*\*Basement Leakage: some leaking detected with moisture meter random sampling  
 along southeast wall areas- remove finished wall and monitor  
 long term moisture may result in visible or concealed mould growth.  
 Environmental Consultants can assist if this is a concern  
 typical efflorescence, staining and dampness for older foundation  
 see steps below  
 recommend damp-proofing if renovating basement

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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