

HOME INSPECTION REPORT



36 Pearson Ave

Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Jan 30 2024



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

This page should not be considered as the complete report. Please read all other forms contained within the Home Inspection Report

For the purposes of this report, the front of the house is considered to be facing: South

ROOFING	Approx. 6-yr-old high quality asphalt shingles with a typical life expectancy of over 20-yrs. Reported 11-yr-old flat roof surface with a typical life expectancy of over 20-yrs.
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EXTERIOR	Overall well maintained.
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STRUCTURE	Overall well built house.
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ELECTRICAL	The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.
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HEATING	3-yr-old high-efficiency gas-fired hot-water boiler (combination) with a typical life expectancy of 15-20-yrs. Hot water radiators and heated floors.
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COOLING/ HEAT PUMPS	2-yr-old ductless (4 zone) heat pump with a typical life expectancy of 15-yrs.
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INSULATION/ VENTILATION	Visible evidence shows spray foam installed in walls which is above average.
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PLUMBING	Overall good water pressure with copper and plastic supply piping. The washrooms and kitchen have been renovated and in good repair.
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INTERIOR	Overall well maintained. The foundation has been damp-proofed which will minimize risk of basement leaking.
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OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.



Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at: www.redbrickinspections.ca

REFERENCE LINK	http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf			
36 Pearson Ave	ROOFING/Chimneys			Jan 30 2024
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick Abandoned:	East
Not Determined	Flat:	Low		
Asphalt Shingles:	Garage:	Medium		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
From Grade	Height			
Observations/Recommendations				
<p>Sloped Surface: overall surface in good repair, some loose shingles on east side require maintenance</p>				
				
<p>Main Flat: not accessible due to height, reported to be approx. 11-yrs old typical life expectancy is over 20-yrs</p>				
<p>Garage: aging but overall in good repair</p>				
				
<p>Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)</p>				

Description			
Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Metal Siding Vinyl Siding

Limitations	
Exterior Inspection from Ground Level Restricted Access Under Deck(s)	Underside of Porch(es) Inspected from Access Door

Observations/Recommendations

** Downspouts: extend to lower gutter at porch

WALL SURFACES: overall in good repair

DOORS/WINDOWS: overall in good repair, various wood components require maintenance

**Window Well: recommend window well cover

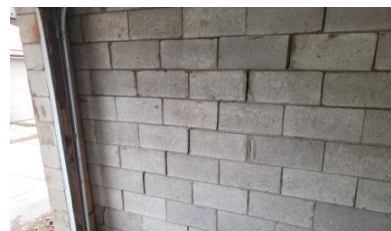
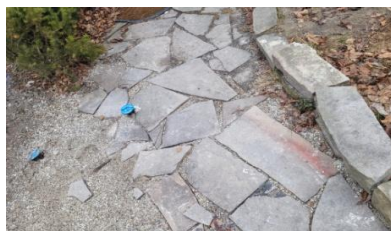


PORCH overall in good repair, roof-minor slope does not appear critical, columns flooring/railings/steps have been replaced



**Walk(s): somewhat uneven/water valve - trip hazard - repair/improve

DETACHED GARAGE: some wall settlement noted- likely older, repair mortar and continue to monitor floor settlement/cracks



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

Description

Configuration: Basement:	Foundations: Stone	Floor : Wood Joists	Walls : Wood Frame (Siding) Wood Frame(Brick Veneer)	Roof/Ceiling Framing: No Access
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Limitations

Restricted Access to: Wall Space Roof Space Flat Roof Space	Foundation Wall Not Visible: <u>99</u> %
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Observations/Recommendations

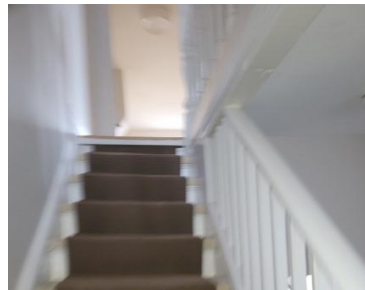
overall well built house

ROOF: access hatch was sealed - could not access

FLOORS: access through vent shows new engineering joists installed (likely during renovation)



FLOORS:
Stair Opening: minor sagging around stair areas though typical for older house



Description

Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: Not Visible	Grounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:
Location: Basement		Location: Panel Bathroom(s)
Auxiliary Panel(s):	Outlets	Outside
Rating: AMP	Description: Grounded	
Description:	Number of Outlets: Upgraded	Arc Fault Circuit Interrupter:
Location:		Location: Panel

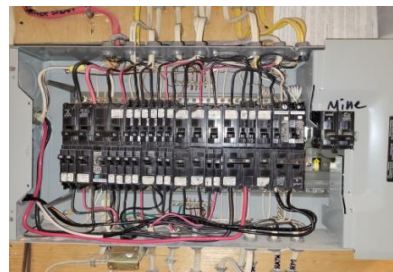
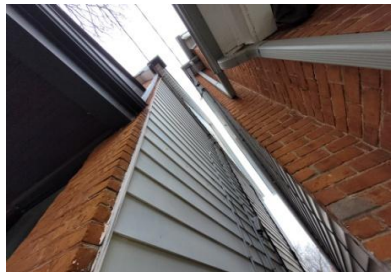
Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **overall in good repair**

SERVICE PANEL: **overall in good repair**



BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

36 Pearson Ave

HEATING

Jan 30 2024

page 6

Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Hot Water Boiler: High 199 x1000BTU/hr 3 yrs. 20 yrs. Gas Meter-Exterior
Combination System:

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations

Heat Loss Calculations Not Done
Heat Exchanger- Inaccessible

Boiler Performance

Pressure lbs/in2: 8
Temp Deg F: 140

Observations/Recommendations

Gas Meter: partly buried - should be above grade



THERMOSTAT: multi thermostats for zone control provides better comfort/efficiency

HOT WATER BOILER: service annually

COMBINATION SYSTEM: provides house heating and domestic hot water

Radiator(s): new units installed

Hot Water Radiant Heat: basement floor and washrooms



REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

36 Pearson Ave

COOLING/Heat Pumps

Jan 30 2024

page 7

Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Heat Pump (air-cooled)	36 x1,000 BTU/hr	2 yrs. old	10 to 15 yrs.

Limitations

Heating Performance

Supply Temp F:	75
Return Temp F:	65

Observations/Recommendations

HEAT PUMP: multi split zoned for 4 ductless wall mounted units
 unit provides cooling and supplemental heating
 service annually
 tested in heating mode



4 units



Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Spray foam:	Basement Walls:	24		Roof
Spray foam:	Wood-Frame Walls:	24		

Limitations

Access Not Gained To Wall Space

Access Not Gained To Roof Space

Access Not Gained To Flat Roof

Observations/Recommendations

Basement Walls: [spray foam insulation installed which is above average](#)



Wood Frame Walls: [spray foam insulation installed which is above average](#)



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic	Water Heater see Heating
		Type: Combination
		Fuel Type:
		Capacity:
		Age Yrs.:
		Life Expectancy:

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [all piping examined was in good repair](#)


Piping: [main drain to city sewer- recommend video-scan, risk of tree roots not determined if backflow valve installed to main waste drain- should install](#)

Washroom(s): [overall in good repair](#)

Kitchen(s) [overall in good repair](#)

Washroom Shower: [steam generator tested functional, unit in closet - should have drip pan](#)



REFERENCE LINK	http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf			
36 Pearson Ave	INTERIOR			Jan 30 2024
Description				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Metal
Ceramic Tile			Casement	French
			Sliders	
			Fixed	
Fireplaces:	Fireplace Fuel:			
Limitations				
Restricted/No Access To: _____			Foundation Not Visible <u>99</u> %	
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected			Drainage Tile Not Visible	
Observations/Recommendations				
Comments: rear basement room: should not be used for bedroom (no window)				
Floors/Walls/Ceilings: overall in good repair				
Trim/Cabinets/Counters: overall in good repair				
Windows/Doors: various upgraded units, upgrade older units as required				
STAIRS: 2nd level, low height/spindle spacing too wide (max 4 inches) - safety concern - improve/repair				
**Basement Leakage: presently no leaking detected with moisture meter random sampling foundation walls interior damp-proofed to minimize leaking risk service sump pump annually - discharge pipe drains into basement floor drain - typically should discharge to exterior recommend back up battery for sump pump				
				
CO/Smoke detectors:	please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law			
**	Steps recommended in order to minimize basement leakage			
1. gutters, downspouts, grading, driveways:	ongoing maintenance and repair/see Exterior			
Environmental/Health Concerns:	http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf			



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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