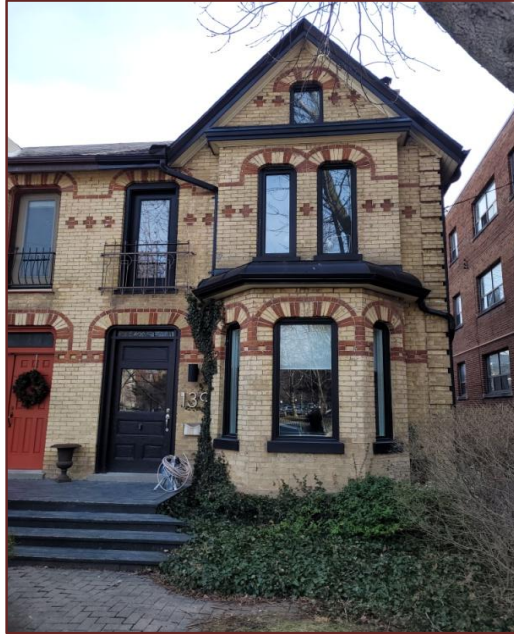


# HOME INSPECTION REPORT



139 Dunn Ave  
Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: [March 12 2024](#)



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

\* please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: West*

**ROOFING** The roof surfaces through-out are overall in good repair. Reported to be approx. 4-yr-old asphalt shingles- typical life expectancy of over 20-yrs.

**EXTERIOR** Overall well maintained. See details for general repairs and maintenance.

**STRUCTURE** Overall older well built house. Reported rear crawlspace joists have been reinforced. Recommend installing a fire wall in the roof spaces between the attached neighbour.

**ELECTRICAL** The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.

**HEATING** 17-yr-old gas-fired hot-water-boiler with a typical life expectancy of 25-30-yrs.

**COOLING/  
HEAT PUMPS** Approx. 6-yr-old ductless heat pumps (two units- four zones) with a typical life expectancy of 15-yrs.

**INSULATION/  
VENTILATION** Recommend additional insulation in the roof space to improve comfort and efficiency. It was reported the rear crawl space floor was insulated with spray foam.

**PLUMBING** Overall good water pressure with copper and plastic supply piping. It was reported the main waste drain was replaced to the city sewer - see details. The washrooms and kitchen are in good repair.

**INTERIOR** Overall well maintained.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:*

[www.redbrickinspections.ca](http://www.redbrickinspections.ca)

Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	West Slope:	Low	Brick:	Southwest
Asphalt Shingles:	East Slope:	Low	Metal:	Southwest
			Brick Abandoned:	East

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Grade	Height	Slope

**Observations/Recommendations**

West Slope: overall surface in good repair reported to be approx. 4-yrs old, typical life expectancy of over 20-yrs.



East Slope: as above, old leak staining under chimney



Chimney(s):  
 Masonry: rebuilt and in good repair  
 Metal: rusting- monitor



**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick
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**Limitations**

Exterior Inspection from Ground Level  
 Restricted Access Under Deck(s)

**Observations/Recommendations**

**\*\*Gutters/Downspouts:** appear newer installations, requires maintenance/cleaning extend 6-ft away from house

**WALL SURFACES:**  
 Brick: overall in good repair

**DOORS/WINDOWS:** overall in good repair  
 recommend replace basement window

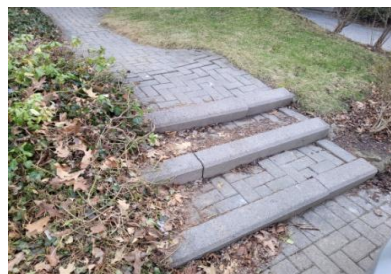
Soffit & Facia: seal gaps at underside of bay , budget for general maintenance/painting

**\*\*Walk(s):** seal gaps along foundation wall



**DECK** older, replace floor boards as required

**\*\*Walk(s):** uneven, settlement, trip hazard - repair



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

**Description**

Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Stone	Wood Joists	Wood Frame(Brick Veneer)	Wood Rafters/Joists
Crawl Space:	Stone Not Visible			

**Limitations**

Restricted Access to: Wall Space Crawl Space	Foundation Wall Not Visible: <u>60</u> %
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**Observations/Recommendations**

overall older well built house  
 FOUNDATIONS: basement abandoned walkout- small portion of foundation requires further evaluation/repair  
 appears to be minor  
 also see Interior Basement



ROOF: overall in good repair, 3rd level potential  
 Party (Fire) Walls: recommend installing on north side betwixt neighbour



FLOORS: basement: wood beam has been 'shored-up', somewhat suspect support should be monitored and installed properly if intent is to use basement as a living space  
 crawlspace: reported floor joists were reinforced ('sistered') with new joists





**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location: <b>Outside Kitchen Bathroom(s)</b>
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: <b>Grounded</b>	
Description:	Number of Outlets: <b>Typical</b>	Arc Fault Circuit Interrupter:
Location:		Location:

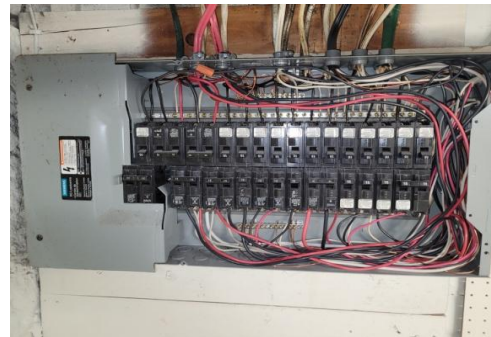
**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

SERVICE ENTRANCE: **older, can be upgraded if renovating**

SERVICE PANEL: **overall in good repair**



BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK

[http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

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# HEATING

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## Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel Type:	Shut Off at:
Hot Water Boiler:	Low	105 x1000BTU/hr	17 yrs.	25+ yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Metal Vent Through Roof](#)

## Limitations

[Heat Loss Calculations Not Done](#)  
[Heat Exchanger- Limited Access](#)

## Boiler Performance

Pressure lbs/in2: [12](#)  
Temp Deg F: [80](#)

## Observations/Recommendations

HOT WATER BOILER: [service annually, auto damper requires repair](#)  
[annual CO test mandatory for this type of unit](#)  
[recommend obtaining replacement parts/servicing contract](#)



Radiator(s): [monitor/repair valves as required](#)

REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

139 Dunn Ave

# COOLING/Heat Pumps

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## Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Heat Pump (air-cooled)	20 x1,000 BTU/hr	6 yrs. old	15 to 20 yrs.
Heat Pump (air-cooled)	20 x1,000 BTU/hr		

## Limitations

### Cooling Performance

Supply Temp F:  
Return Temp F:

## Observations/Recommendations

DUCTLESS HEAT PUMP: [two units- four zones, service annually](#)





**Description**

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	12	None Found	Roof
Spray foam:	Crawl Space Floor:	24		Crawl Space to Basement

**Limitations**

Attic Entered But Access was Limited  
 Access Not Gained To Crawl Space

**Observations/Recommendations**

ROOF SPACE: east and west areas: old insulation, damaged/soiled, debris, etc.  
 overall budget to remove and install new insulation and vapour barrier,  
 Comments: if intent is to make roof space into 3rd level in short term then  
 install insulation (consider spray foam) on rafters



Crawlspace Floor: reported spray foam installed

**Description**

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Cast Iron	Water Heater Type: Conventional Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 12 Life Expectancy: 15

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

**Observations/Recommendations**

SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair  
 Basement Floor Drain: none: budget to install with backflow valve  
 it was reported the main waste drain to city sewer was replaced

Washroom(s): overall in good repair  
 older bath tubs - refinish recommended

Kitchen(s) overall in good repair

Description				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Resilient			Casement	
Ceramic Tile			Fixed	
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			

Limitations	
Restricted/No Access To: _____	Foundation Not Visible <u>60</u> %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected	Drainage Tile Not Visible
Storage/Furnishings in Some Areas Limited Inspection	

**Observations/Recommendations**

Trim/Cabinets/Counters: overall in good repair  
 Floors/Walls/Ceilings: overall in good repair  
    plaster: typical flaws for older house

Windows/Doors: overall in good repair  
 Window(s): screens missing/damaged for some units, some lock handles loose

\*\*Basement Leakage: reported functional  
    recommend chimney sweep/inspection by W.E.T.T. Certified technician  
    ([www.wettinc.ca](http://www.wettinc.ca))

\*\*Basement Leakage: typical efflorescence, staining and dampness for older foundation  
    abandoned walkout- consider installing retaining wall in door opening



CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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