

# HOME INSPECTION REPORT



70 Thirty Ninth St  
Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: Feb 21 2024



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

\* please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: East*

ROOFING The roof surfaces through-out are overall in good repair.

EXTERIOR Overall well maintained.

STRUCTURE Overall well built house.

ELECTRICAL The 100 AMP service size is adequate. In addition to copper wiring there is some aluminum wiring - see details.

HEATING 8-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS 8-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/  
VENTILATION Roof space insulation (upgraded) and ventilation is adequate. The basement walls have been spray foamed which is above average.

PLUMBING Overall good water pressure with copper supply piping. Further evaluation to main waste drain. The washrooms and kitchen are in good repair.

INTERIOR Overall well maintained. Various doors/windows have been upgraded.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:*

[www.redbrickinspections.ca](http://www.redbrickinspections.ca)

REFERENCE LINK [http://redbrickinspections.ca/docs/2\\_Roofing\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf)

70 Thirty Ninth St **ROOFING/Chimneys** Feb 21 2024

Description				
Roofing Material: Asphalt Shingles:	Location: Slope:	Leakage Probability: Low	Chimney(s) Type: Brick Abandoned: Metal:	Location: Southwest Northwest

Limitations		
Roof Inspected By: From Edge	Access Limited By: Snow	Chimney Access Limited By:

Observations/Recommendations

Main Slope: overall surface in good repair



Chimney(s):  
Brick: can be removed  
Metal: in good repair



Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Masonry/Cement Finish Metal Siding
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**Limitations**

Exterior Inspection from Ground Level

**Observations/Recommendations**

\*\*Gutters/Downspouts: [requires maintenance/cleaning](#)

WALL SURFACES: [overall in good repair](#)

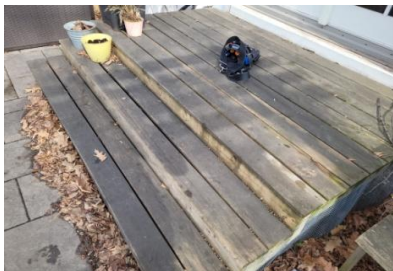
DOORS/WINDOWS: [overall in good repair](#)

\*\*Window wells: [provide window well covers](#)



DECK [power wash/maintenance, provide hand railings for safety](#)

STRUCTURES [shed: overall in good repair, supported by floating footings on gravel- monitor](#)



\*\*Landscaping: [retain arbourist for annual monitoring/trimming](#)

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

[http://redbrickinspections.ca/docs/4\\_Structure\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf)

70 Thirty Ninth St

# STRUCTURE

Feb 21 2024

page 4

## Description

Configuration: Basement:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Masonry (Stucco Finish)	Roof/Ceiling Framing: Wood Rafters/Joists
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## Limitations

Restricted Access to: Wall Space	Foundation Wall Not Visible: <u>95</u> % Roof Space Inspected From Access Hatch
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## Observations/Recommendations

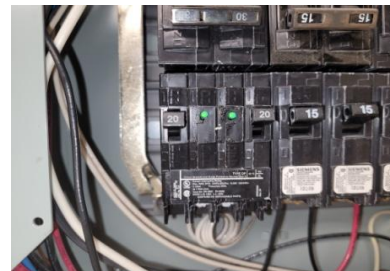
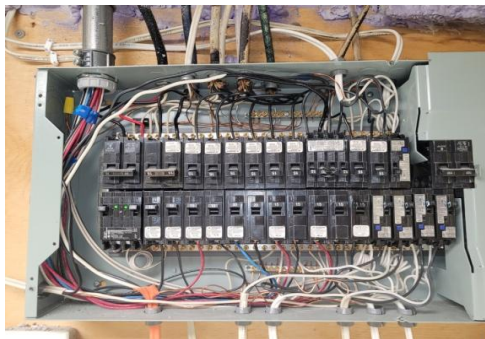
overall well built house

ROOF: overall in good repair



**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Aluminum</b>
Description: <b>Breakers</b>		<b>Grounded</b>
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location: <b>Panel</b> <b>Kitchen</b>
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating:      AMP	Description: <b>Grounded</b>	<b>Laundry Area</b>
Description:	Number of Outlets: <b>Typical</b>	Combo Arc Fault Circuit Interrupter:
Location:		Location: <b>Panel</b>

**Limitations****Main Disconnect Cover Not Removed****Observations/Recommendations**SERVICE ENTRANCE: **overall in good repair**SERVICE PANEL: **overall in good repair, includes a surge protector device****BRANCH WIRING:**

Aluminum: **some circuits noted at panel, recommend inspection by qualified electrician for maintenance of connections and installation of aluminum rated outlets typically requires ESA (Electrical Safety Authority) certificate for insurance**

GFCI: **provide to exterior outlet**Ungrounded Outlet(s): **one wall unit found that has a GFCI to improve safety**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

70 Thirty Ninth St

# HEATING

Feb 21 2024

page 6

## Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel Type:	Shut Off at:
Forced Air Furnace:	High	60 x1000BTU/hr	8 yrs.	20 yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

## Limitations

[Heat Loss Calculations Not Done](#)  
[Heat Exchanger- Inaccessible](#)

## Furnace Performance

Supply Temp F: [120](#)  
Return Temp F: [70](#)

## Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)  
[replace 1-per-3 months](#)



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

70 Thirty Ninth St

## COOLING/Heat Pumps

Feb 21 2024

page 7

### Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	8 yrs. old	15 to 20 yrs.

### Limitations

Cannot Test With Low Outdoor Temp  
Outdoor Coil Covered

### Cooling Performance

Supply Temp F:  
Return Temp F:

### Observations/Recommendations

AIR CONDITIONER: not tested: should be serviced before using





**Description**

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	50	Kraft Paper	Roof
Spray foam:	Basement Walls:	24		Gable Roof Soffit

**Limitations**

Roof Space Inspected from Access Hatch                      Basement Walls Spot Checked Only

Access Not Gained To Wall Space

**Observations/Recommendations**

ROOF SPACE: insulation and ventilation is adequate  
 some areas uneven distribution of insulation - improve/add insulation



Basement Walls: spray foam insulation installed which is above average



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: Copper	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper	Waste Piping & Pump(s): Plastic Cast Iron Lead	Water Heater Type: Conventional Fuel Type: Electricity Capacity: 75 Gal Age Yrs.: 5 Life Expectancy: 20

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

**Observations/Recommendations**

SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair

Basement Floor Drain: requires cleaning/maintenance  
suspect older main drain, recommend video-scan, risk of tree roots  
budget for repairs/replacement

Washroom(s): overall in good repair

Kitchen(s) overall in good repair

**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Casement	Metal
Ceramic Tile		Paneling	Sliders	French
Laminate			Fixed	
Fireplaces:	Fireplace Fuel:			
Zero Clearance	Gas			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 95 %  
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
 Storage/Furnishings in Some Areas Limited Inspection

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: various upgraded units, upgrade older units as required

STAIRS: provide hand rails to basement steps

FIREPLACE: service annually

\*\*Basement Leakage: presently no leaking detected with moisture meter random sampling reported exterior foundation wall has been excavated and parged window wells installed, typically a weeping tile is also installed, this to minimize risk of basement leaking

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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