

HOME INSPECTION REPORT



193 Wright Ave

Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: [Feb 20 2025](#)



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: North*

ROOFING Not visible. 4-yr-old roof surfaces with a typical life expectancy of over 20-yrs.

EXTERIOR Overall well maintained. Recent renovations/upgrades.

STRUCTURE Overall well built house.

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded. Minor repairs - see details.

HEATING 4-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/
HEAT PUMPS 4-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined.. Extensive renovation typically includes upgrading insulation.

PLUMBING Overall adequate water pressure with newer plastic supply piping. Newer drains and a backflow valve has been installed to the main waste drain. The washrooms and kitchen have recently been renovated and in good repair.

INTERIOR Recently renovated. The foundation has been damp-proofed which will minimize risk of basement leaking.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

REFERENCE LINK http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf

193 Wright Ave **ROOFING/Chimneys** Feb 20 2025

Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low		
Modified Bitumen:	Flat:	Low		

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Grade	Height	
From Edge	Snow	

Observations/Recommendations

Roofing: mostly not visible due to snow
4-yr-old roof surfaces with a typical life expectancy of over 20-yrs.



Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

Description

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick
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Limitations

Exterior Inspection from Ground Level	Snow over Decks/Porches
Grading Not Visible Due to Snow	

Observations/Recommendations

****Gutters/Downspouts:** requires maintenance, ice build up overall typical for present climate

WALL SURFACES: overall in good repair

Soffit & Facia: newly installed

Brick: overall in good repair, typical spalling/worn mortar - maintain as required

DOORS/WINDOWS: newly installed



PORCH overall in good repair, column- minor slant, overall typical though monitor

****BASEMENT WALKOUT:** overall well built



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

**** Any or all these items may contribute to Basement Leakage. Please see Interior Page**

REFERENCE LINK

http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf

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STRUCTURE

Feb 20 2025

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Description

Configuration: Basement:	Foundations: Stone Brick	Floor : Wood Joists	Walls : Masonry (Double-Brick) Wood Frame (Siding)	Roof/Ceiling Framing: Not Visible
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Limitations

Restricted Access to: Wall Space Roof Space Flat Roof Space	Foundation Wall Not Visible: <u>90</u> %
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Observations/Recommendations

overall well built house

Description

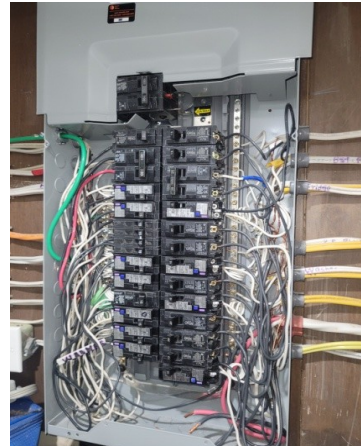
Service Size: 100 AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: Overhead	Copper
Rating: 100 AMP	Type of material: Not Visible	Grounded
Description: Breakers		
Location: Basement		
Distribution Panel	System Grounding:	
Rating: 100 AMP	Description: Copper	
Description: Breakers	Location: Not Visible	Ground Fault Circuit Interrupter:
Location: Basement		Location: Outside Kitchen Bathroom(s)
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: Grounded	
Description:	Number of Outlets: Upgraded	Combo Arc Fault Circuit Interrupter:
Location:		Location: Panel

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE: **newly installed**
 SERVICE PANEL: **newly installed**



Miswired Outlet(s): **3rd level units - overall minor repairs**
 GFCI: **provide to rear exterior outlet**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:
Forced Air Furnace: High 80 x1000BTU/hr 4 yrs. 20 yrs. Gas Meter-Exterior
Electric Radiant Heat:

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations

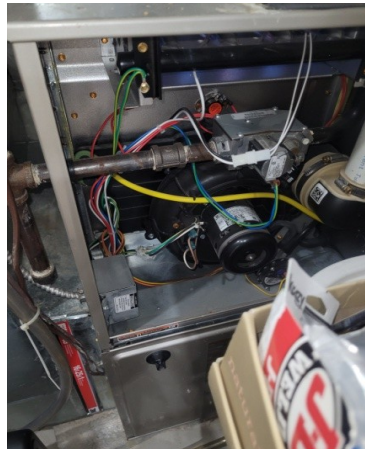
Heat Loss Calculations Not Done
Heat Exchanger- Inaccessible

Furnace Performance

Supply Temp F: 140
Return Temp F: 70

Observations/Recommendations

FORCED AIR FURNACE: [service annually](#)
[recommend obtaining replacement parts/servicing contract](#)
Filter: [replace 1-per-3 months](#)



Electric Radiant Heat: [3rd level washroom: tested functional](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	? x1,000 BTU/hr	4 yrs. old	10 to 15 yrs.

Limitations

[Cannot Test With Low Outdoor Temp](#)
[Outdoor Coil Covered](#)

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

AIR CONDITIONER: [not tested: should be serviced before using](#)



Comments: [3rd level typically more difficult to cool- may require supplemental unit and/or adjust registers as required](#)

REFERENCE LINK

http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf

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INSULATION/VENTILATION

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Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Basement Walls:	12	Plastic	

Limitations

Access Not Gained To Wall Space
Access Not Gained To Roof Space

Basement Walls Spot Checked Only

Observations/Recommendations

extensive renovation typically includes upgrading insulation.

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

Service Piping into House: Not Visible	Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Adequate
Supply Piping & Pump(s): Plastic	Waste Piping & Pump(s): Plastic	Water Heater Type: Induced Draft Fuel Type: Gas Capacity: 50 Gal Age Yrs.: 4 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

[newly renovated throughout](#)

WATERMAIN: [restricted access due to laundry tub - should be improved](#)



SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [all piping examined was in good repair](#)
[a back flow valve has been installed to the main waste drain](#)

Stack: [rear lower flat roof: ideally should be extended above upper flat roof to avoid odours, smaller sized unit should ideally be larger 4 inch pipe](#)



Washroom(s): [_____](#) [newly renovated throughout](#)

Kitchen(s): [_____](#) [newly renovated throughout](#)

Description

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Fireplaces:	Fireplace Fuel:			

Limitations

Restricted/No Access To: _____	Foundation Not Visible <u>90</u> %
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected	Drainage Tile Not Visible

Observations/Recommendations

Floors/Walls/Ceilings: _____ newly renovated throughout

Trim/Cabinets/Counters: _____ newly renovated throughout

Windows/Doors: newly installed
screens required in upper levels for safety

FIREPLACE: service annually

**Basement Leakage: presently no leaking detected with moisture meter random sampling
foundation damp-proofed to minimize leaking risk
recommend back up battery for sump pump

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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