

# HOME INSPECTION REPORT



303 Crawford St

Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: [Feb 12 2025](#)



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

\* please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: West*

ROOFING The roof surfaces where visible are overall in good repair.

EXTERIOR Overall well maintained.

STRUCTURE Overall well built house. The house has been treated for termites - see details.

ELECTRICAL The service size 100 AMP though typically is 200 AMP for house with 3 units -upgrade if required. The wiring has been upgraded to copper grounded.

HEATING 8-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS The air-conditioner is older. Continue servicing until replacement becomes necessary. The ductless heat pump is aging. Continue servicing until replacement becomes necessary.

INSULATION/  
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined. Extensive renovation typically includes upgrading insulation

PLUMBING The watermain will require upgrading if better water pressure is desired. The supply piping in the house is copper. Further evaluation to main waste drain. 3rd level washroom and kitchen renovated. Older washrooms/kitchens - rep[air as required - see details.

INTERIOR Overall well maintained.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:*

[www.redbrickinspections.ca](http://www.redbrickinspections.ca)

Description				
Roofing Material:	Location:	Leakage Probability:		Chimney(s) Type:
Asphalt Shingles:	Slope:	Low		Brick Shared:
Asphalt Shingles:	2nd Slope:	Low	east/west	Brick Abandoned:
Modified Bitumen:	Main Flat:	Low	upper	South
Modified Bitumen:	2nd Flat:	Low	deck	South

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Grade	Height	Height
From Edge	Snow	

**Observations/Recommendations**

Chimney(s): overall in good repair

Sloped Surface: overall surface in good repair where visible

Ice Dams: prone at northwest - monitor



Main Flat: overall surface in good repair



2nd Slope: porch (west) and rear (east) not visible due to snow



2nd Flat: not visible due to deck

**Description**

Gutters & Downspouts: Aluminum: Plastic:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Vinyl Siding
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**Limitations**

Exterior Inspection from Ground Level	Carpeting over Decks/Porches
Restricted Access Under Deck(s)	Grading Not Visible Due to Snow

**Observations/Recommendations**

WALL SURFACES:

Brick: overall in good repair

Vinyl Siding: overall in good repair

Wood Shingles: overall in good repair

DOORS/WINDOWS: overall in good repair



DECK(s): overall in good repair, repair/replace wood components as required

PORCH(es): overall in good repair, repair/replace wood components as required

\*\*BASEMENT WALKOUT: service drains

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

**Description**

Configuration: Basement:	Foundations: Stone Brick	Floor : Eng. Wood	Walls : Masonry (Double-Brick) Wood Frame (Siding)	Roof/Ceiling Framing:
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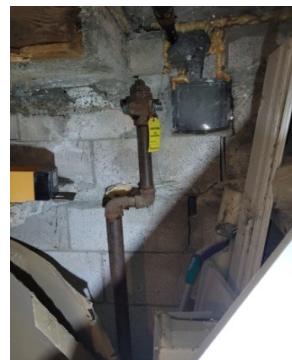
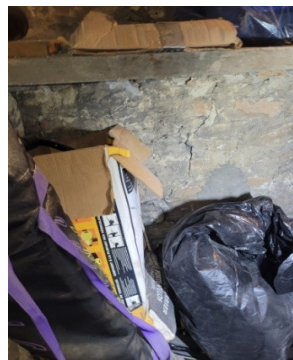
**Limitations**

Restricted Access to: Wall Space Flat Roof Space Roof Space	Foundation Wall Not Visible: <u>90</u> %
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**Observations/Recommendations**

overall well built house

FOUNDATIONS: front under porch: typical settlement cracks  
limited visibility due to storage



FLOORS:  
Stair Opening: minor sagging around stair areas though typical for older house

Termites: the house is located in a termite neighbourhood-recommend inspection by specialist approx. 1-per-2-yrs.  
refer to termite inspection provided by home owner  
reported past termite treatment, contact specialist for ongoing monitoring, some damage found at basement door frame but this appears older

**Description**

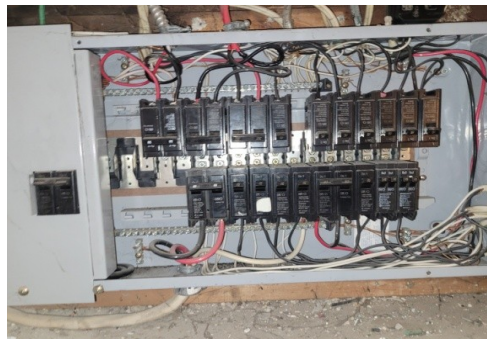
Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Not Visible</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location:
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating: <b>100</b> AMP	Description: <b>Grounded</b>	
Description: <b>Breakers</b>	Number of Outlets:	Arc Fault Circuit Interrupter:
Location: <b>2nd Level</b>		Location:

**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

SERVICE ENTRANCE: overall in good repair  
 SERVICE PANEL: overall in good repair  
 Auxiliary Panel: cover not removed due to high location on hall wall



BRANCH WIRING: random sampling determined majority wiring has been upgraded  
 Ungrounded Outlet(s): one unit noted in 2nd level beside fireplace - provide GFCI's (ground fault circuit interrupters) or abandon and cap  
 basement: some loose wires - general clean up

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

303 Crawford St **HEATING** Feb 12 2025

**Description**

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:  
Forced Air Furnace: High 80 x1000BTU/hr 8 yrs. 20 yrs. Gas Meter-Exterior

Exhaust Vent Arrangement: Plastic Through-Wall Vent

**Limitations**

Heat Loss Calculations Not Done  
Heat Exchanger- Inaccessible

**Furnace Performance**

Supply Temp F: 120  
Return Temp F: 70

**Observations/Recommendations**

FORCED AIR FURNACE: service annually  
recommend obtaining replacement parts/servicing contract  
Return Ducts: note unit equipped with 2 return plenums which not typical and might effect overall performance of air flow/efficiency  
Filter: 2 filters- replace 1-per-3 months



Registers: none in 2nd level washroom - install/share with kitchen unit if required  
none present in 2nd level rear kitchen wall  
installing electric heater more practical



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

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# COOLING/Heat Pumps

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## Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	30 x1,000 BTU/hr	22 yrs. old	15 to 20 yrs.
Heat Pump (air-cooled)	18 x1,000 BTU/hr	approx. 10 yrs. old	

## Limitations

### Cooling Performance

Supply Temp F:  
Return Temp F:

## Observations/Recommendations

AIR CONDITIONER: **not tested: should be serviced before using old unit, continue servicing until replacement becomes necessary**



HEAT PUMP: **not tested: should be serviced before using service annually**





REFERENCE LINK

[http://redbrickinspections.ca/docs/8\\_Insulation\\_Ventilation\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf)

303 Crawford St

# INSULATION/VENTILATION

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## Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
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## Limitations

Access Not Gained To Wall Space

Access Not Gained To Roof Space

Access Not Gained To Flat Roof

## Observations/Recommendations

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: <a href="#">Not Visible</a>	Main Shut Off Valve at: <a href="#">Basement-Front</a>	Water Flow (Pressure): <a href="#">Adequate</a>
Supply Piping & Pump(s): <a href="#">Copper</a>	Waste Piping & Pump(s): <a href="#">Plastic</a>	Water Heater Type: <a href="#">Induced Draft</a> Fuel Type: <a href="#">Gas</a> Capacity: <a href="#">40 Gal</a> Age Yrs.: <a href="#">4</a> Life Expectancy: <a href="#">15</a>

**Limitations**

<a href="#">Isolating/Relief Valves &amp; Main Shut Off Valves Not Tested</a>	<a href="#">Concealed Plumbing not Inspected</a>
<a href="#">Kitchen and Laundry Appliances Were Not Inspected</a>	<a href="#">Tub/Sink Overflows Not Tested</a>

**Observations/Recommendations**

WATERMAIN: [not visible due to storage](#)  
[upgrade to larger pipe for better water pressure if desired](#)

SUPPLY PIPING: [all piping examined was in good repair](#)

WATER HEATER: [might require larger or additional unit](#)

WASTE PIPING: [all piping examined was in good repair](#)  
Basement Floor Drain: [trap not visible due to check valve](#)  
[main drain to city sewer- recommend video-scan](#)  
[recommend installing backflow valve to main waste drain](#)

Comments: [water located behind laundry appliances- suspect washer leaking- further evaluation](#)

Washroom(s): [overall in good repair](#)  
1st Level Toilet: [repair handle](#)  
3rd Level Shower Stall: [general grout maintenance](#)  
Washroom(s): [3rd level - door should have lock](#)  
Basement Washroom Faucet: [bath tub: old- stiff/dripping - repair/replace](#)

Kitchen(s) [overall in good repair](#)

**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Wood
Ceramic Tile			Casement	Metal
			Fixed	French
			Skylight(s)	
Fireplaces:	Fireplace Fuel:			
Zero Clearance	Gas			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 90 %  
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
 Storage/Furnishings in Some Areas Limited Inspection

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair  
 Ceilings: main level kitchen - stains tested dry - likely older leak  
 some cracking ceiling - typical

Trim/Cabinets/Counters: overall in good repair  
 main level kitchen - minor damage

Windows/Doors: overall in good repair, some older units  
 some requires adjustment/minor repair, screens required  
 in upper levels for safety

STAIRS: should provide better hand rails to second level steps

FIREPLACE: tested functional, service annually

\*\*Basement Leakage: presently no leaking detected with moisture meter random sampling  
 typical efflorescence, staining and dampness for older foundation  
 see steps below

Comments: basement: some areas with mouldy drywall - typical - remove  
 and clean/treat area for mould

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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