

HOME INSPECTION REPORT



53 Wyndham St
Toronto

Prepared for: [High Park Real Estate](#)

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: [April 15 2025](#)



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: North*

ROOFING The main flat roof is older. The lower flat and sloped surfaces are overall in good repair.

EXTERIOR Overall well maintained.

STRUCTURE Floors sloping - see details.

ELECTRICAL The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.

HEATING 2-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-ys.

COOLING/
HEAT PUMPS 2-yr-old air-conditioner with a typical life expectancy of 15-ys.

INSULATION/
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined.

PLUMBING Overall adequate water pressure with copper supply and plastic piping. Further evaluation to main waste drain. The washrooms and kitchen are in good repair.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

☐ ☐ ☐ ☐ ☒ ☐ ☐ ☐ ☐

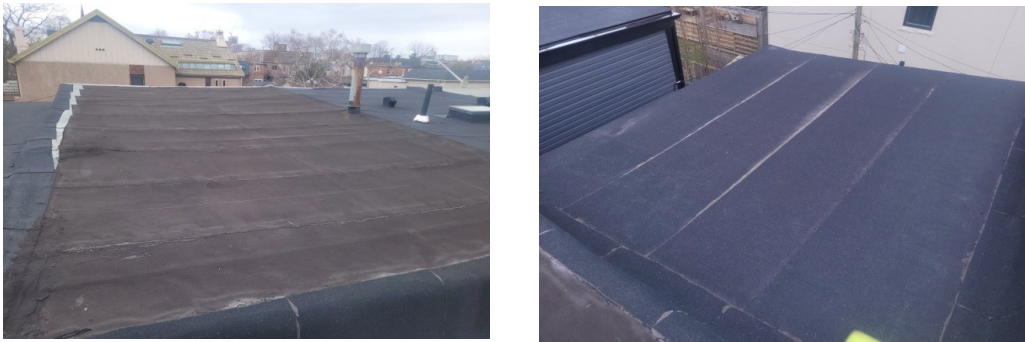

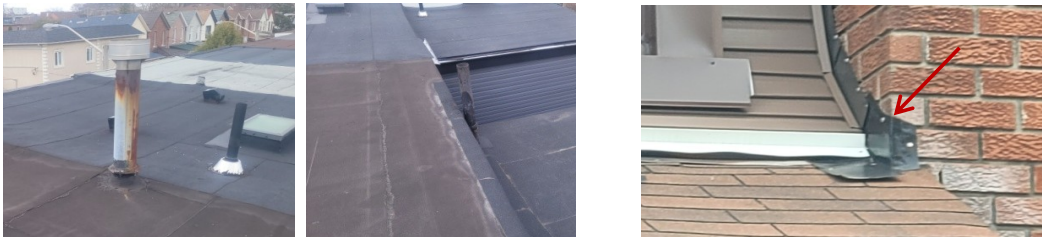
Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at:

www.redbrickinspections.ca

REFERENCE LINK		http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf		
53 Wyndham St		ROOFING/Chimneys		April 15 2025
Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Modified Bitumen:	Upper Flat:	Medium	Metal:	East
Asphalt Shingles:	Slope:	Low		
Modified Bitumen:	Lower Flat:	Low		
Limitations				
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:		
Walking On				
From Edge				
Observations/Recommendations				
<p>Upper Flat: older, patched, continue to monitor/repair, budget to replace</p> <p>Lower Flat: overall surface in good repair</p>				
				
<p>Sloped Surface: overall in good repair, some patched spots- monitor, seal nail heads along edge</p> <p>front dormers (some slate shingles) overall in good repair</p>				
				
<p>Flashings: chimney/stack: missing proper flashing components, patched instead, monitor</p> <p>Roof/Wall: front: should be sealed properly along northwest wall</p>				
				
<p>Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)</p>				

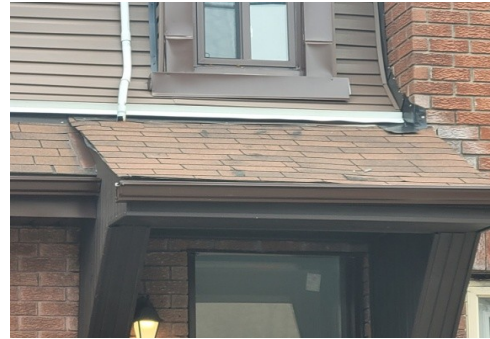
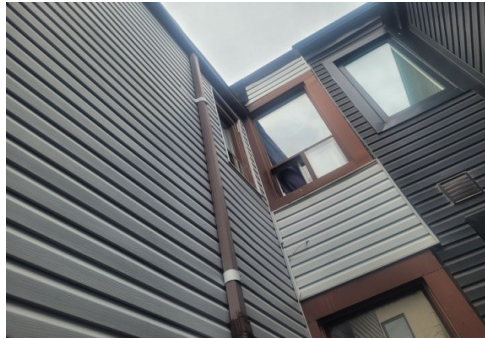
DescriptionGutters & Downspouts:
Aluminum:Downspout(s) Discharge:
Below/Above GradeLot Topography:
FlatWalls & Wall Structures:
Stone
Vinyl Siding
Metal Siding**Limitations**

Exterior Inspection from Ground Level

Observations/Recommendations

WALL SURFACES: overall in good repair

DOORS/WINDOWS: older units: calking repairs required




Comments: overall general maintenance to wood components and/or cover with metal flashing



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK		http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf		
53 Wyndham St		STRUCTURE		April 15 2025
Description				
Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Masonry Block	Wood Joists	Wood Frame (Siding)	No Access
Crawl Space:	Not Visible		Wood Frame(Brick Veneer)	
Limitations				
Restricted Access to:	Foundation Wall Not Visible: <u>90</u> %			
Wall Space				
Roof Space				
Observations/Recommendations				
<p>FLOORS: floors sloping towards south, suspect older condition and overall not unusual for old house, no signs of distress observed indirectly, also appears newer foundation and beam has been installed in the rear of the foundation, further movement not anticipated though continue to monitor</p>				
				

Description

Service Size: 100	AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box		Location: Overhead	Copper
Rating: 100 AMP		Type of material: Not Visible	Grounded
Description: Breakers			
Location: Basement			
Distribution Panel	System Grounding:		
Rating: 100 AMP	Description: Copper		
Description: Breakers	Location: Water Pipe	Ground Fault Circuit Interrupter:	
Location: Basement		Location: Outside	
Auxiliary Panel(s):	Outlets		Laundry Area
Rating: AMP	Description: Grounded		
Description:	Number of Outlets: Typical	Arc Fault Circuit Interrupter:	
Location:		Location:	

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE ENTRANCE:

Mast: **loose at wall - requires fastener**



SERVICE PANEL: **panel obstructed by cabinet - cover not removed**
appears to be newer installation




BRANCH WIRING: **random sampling determined the wiring has been upgraded throughout**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK		http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf			
53 Wyndham St		HEATING		April 15 2025	
Description					
Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel Type: Shut Off at:
Forced Air Furnace:	High	60 x1000BTU/hr	2 yrs.	20 yrs.	Gas Meter-Exterior
Exhaust Vent Arrangement:					
Limitations				Furnace Performance	
Heat Loss Calculations Not Done				Supply Temp F: Return Temp F:	
Observations/Recommendations					
<p>FORCED AIR FURNACE: service annually</p> <p>Filter: replace 1-per-3 months</p> <div style="display: flex; justify-content: space-around;">   </div> <p>Comments: washroom: should install baseboard heater</p>					

REFERENCE LINK	http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf		
53 Wyndham St	COOLING/Heat Pumps		April 15 2025
Description			
Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	2 yrs. old	10 to 15 yrs.
Limitations			Cooling Performance
Cannot Test With Low Outdoor Temp			Supply Temp F:
Outdoor Coil Covered			Return Temp F:
Observations/Recommendations			
<p>AIR CONDITIONER: not tested: should be serviced before using</p> 			

REFERENCE LINK		http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf		
53 Wyndham St		INSULATION/VENTILATION		April 15 2025
Description				
Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Limitations				
Access Not Gained To Wall Space				
Access Not Gained To Roof Space				
Observations/Recommendations				
Note: adding insulation is considered an improvement rather than a repair				
R-values are estimated				

Description

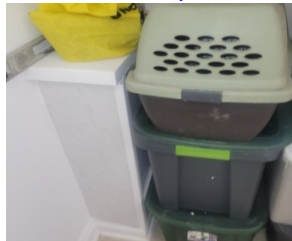
Service Piping into House:	Main Shut Off Valve at:	Water Flow (Pressure):
Not Visible	Basement-Front	Adequate
Supply Piping & Pump(s):	Waste Piping & Pump(s):	Water Heater
Copper	Plastic	Type: Induced Draft
Plastic	Cast Iron	Fuel Type: Gas
		Capacity: 50 Gal
		Age Yrs.: 2
		Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Observations/Recommendations

WATERMAIN: could not access due to storage, further evaluation,
upgrade to larger pipe for better water pressure if desired
WATER HEATER: exhaust vent exposed in closet - requires proper bulkhead



SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair
Basement Floor Drain: main drain to city sewer- recommend video-scan
recommend installing backflow valve to main waste drain

Washroom(s): overall in good repair
2nd Level Washroom: loose sink/older faucet/older bath tub

Kitchen(s) overall in good repair

REFERENCE LINK		http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf		
53 Wyndham St		INTERIOR		April 15 2025
Description				
Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Sliders	Wood
Ceramic Tile			Fixed	Metal
Resilient				
Fireplaces:	Fireplace Fuel:			
Limitations				
Restricted/No Access To:		Foundation Not Visible <u>90</u> %		
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected		Drainage Tile Not Visible		
Absence of Historical Clues due to New Finishes/Paint				
Storage/Furnishings in Some Areas Limited Inspection				
Observations/Recommendations				
<p>Floors/Walls/Ceilings: overall in good repair</p> <p>Floors: see Structure</p> <p>Trim/Cabinets/Counters: overall in good repair</p> <p>Windows/Doors: various upgraded units, upgrade older units as required</p> <p>**Basement Leakage: presently no leaking detected with moisture meter random sampling typical efflorescence, staining and dampness for older foundation see steps below rear basement: appears some damp-proofing on foundation wall has been installed</p>				
				
CO/Smoke detectors:		please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law		
** Steps recommended in order to minimize basement leakage				
1. gutters, downspouts, grading, driveways:		ongoing maintenance and repair/see Exterior		
2. cracks/form ties on foundation:		monitor/repair as required		
3. excavation/damp-proofing:		monitor basement, consider step 3 as a last resort		
Environmental/Health Concerns:		http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf		



Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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