

# HOME INSPECTION REPORT



39 Melbourne Ave

Toronto

Prepared for: [High Park Realty](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: [June 25 2025](#)



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read: <https://redbrickinspections.ca/home-inspection-terms-and-conditions/>

Please Read: <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

\* please see credentials at end of report



Description				
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Modified Bitumen:	Flat:	Low	Stucco:	East
Asphalt Shingles:	Slope:	Low	Brick Abandoned:	South
Asphalt Shingles:	Porch(s):	Low		
Modified Bitumen:	Porch(s):			

Limitations		
Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
From Edge		

**Observations/Recommendations**

Tree Branches: [retain arbourist for annual monitoring/trimming](#)

Flat Surface: [overall surface in good repair](#)



Sloped Surface: [rear extension under deck, remove debris](#)

Porch(s): [overall surface in good repair](#)

Bay(s): [overall surface in good repair](#)



Chimney: [overall in good repair](#)

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Stucco Asphalt Shingles Wood siding Slate Shingles
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**Limitations**

Exterior Inspection from Ground Level  
Restricted Access Under Porch(es)

**Observations/Recommendations**

\*\*Gutters/Downspouts: requires maintenance/cleaning

**WALL SURFACES:**

Slate Shingles: overall in good repair

Soffit & Facia: requires general repairs and maintenance and/or cap with metal

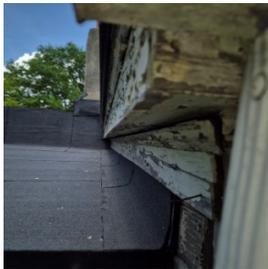
**DOORS/WINDOWS:** some: general repairs and maintenance and/or replace if more cost effective

Stucco: recently re-surfaced in good repair

Asphalt Shingles: older, some areas require repairs though consider covering with newer materials

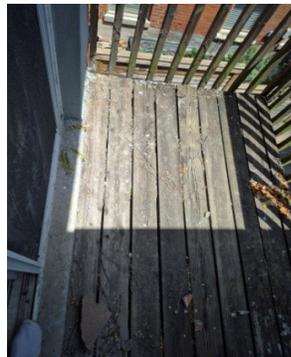
Wood siding: requires general repairs and maintenance

**PORCH(es):** overall in good repair



**DECK(s):** overall in good repair

monitor and repair upper deck floor boards as required



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

**Description**

Configuration: Basement:	Foundations: Stone Brick	Floor : Wood Joists	Walls : Wood Frame (Siding) Wood Frame(Brick Veneer) Masonry Party Wall	Roof/Ceiling Framing: No Access
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**Limitations**

Restricted Access to: Wall Space Flat Roof Space Crawl Space	Foundation Wall Not Visible: <u>70</u> %
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**Observations/Recommendations**

overall well built house

**FLOORS:**

Wood Column: basement: installed with wood beam to shore up main floor, appears to be older installation though functional, monitor performance, bottom of column prone to rot - monitor, overall budget to re-place with engineered beam and column with proper footings



**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location:		Location:
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating: <b>60</b> AMP	Description: <b>Grounded</b>	
Description: <b>Breakers</b>	Number of Outlets: <b>Upgraded</b>	Arc Fault Circuit Interrupter:
Location: <b>Basement</b>		Location:

**Limitations**

Main Disconnect Cover Not Removed

**Observations/Recommendations**

SERVICE ENTRANCE: overall in good repair  
 SERVICE PANEL: panel obstructed by cabinet - cover not removed  
 Auxiliary Panel: overall in good repair



BRANCH WIRING: random sampling determined the wiring has been upgraded throughout  
 Ungrounded Outlet(s): one unit in rear 2nd level wall - minor repair  
 exposed wire along baseboard - minor repair

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

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# HEATING

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## Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: Fuel Type: Shut Off at:  
Forced Air Furnace: High 80 x1000BTU/hr 13 yrs. 20 yrs. Gas Meter-Exterior

Exhaust Vent Arrangement: Plastic Through-Wall Vent

## Limitations

Heat Loss Calculations Not Done A/C Presently Operating  
Heat Exchanger- Limited Access

## Furnace Performance

Supply Temp F:  
Return Temp F:

## Observations/Recommendations

Exhaust Pipes: east exterior wall: should install collision barrier

FORCED AIR FURNACE: service annually  
recommend obtaining replacement parts/servicing contract  
Filter: replace 1-per-3 months



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

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## COOLING/Heat Pumps

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### Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	13 yrs. old	15 to 20 yrs.

### Limitations

#### Cooling Performance

Supply Temp F:	65
Return Temp F:	75

### Observations/Recommendations

AIR CONDITIONER: [service annually](#)

Outdoor Coil: [trim plants away, coil requires cleaning](#)  
[loose junction boxes- secure properly](#)



REFERENCE LINK

[http://redbrickinspections.ca/docs/8\\_Insulation\\_Ventilation\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/8_Insulation_Ventilation_Reference_Guide.pdf)

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# INSULATION/VENTILATION

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## Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
				None Found

## Limitations

Access Not Gained To Wall Space

Access Not Gained To Flat Roof

## Observations/Recommendations

Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: <b>Copper</b>	Main Shut Off Valve at: <b>Basement-Front</b>	Water Flow (Pressure): <b>Good</b>
Supply Piping & Pump(s): <b>Copper</b>	Waste Piping & Pump(s): <b>Plastic</b> <b>Cast Iron</b> <b>Copper</b>	Water Heater Type: <b>Conventional</b> Fuel Type: <b>Gas</b> Capacity: <b>40 Gal</b> Age Yrs.: <b>newer</b> Life Expectancy: <b>15</b>

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tab/Sink Overflows Not Tested

**Observations/Recommendations**

WATERMAIN: **upgraded to copper**

SUPPLY PIPING: **all piping examined was in good repair**



WASTE PIPING: **all piping examined was in good repair**  
**basement: some older piping - monitor and replace if required**

Basement Floor Drain: **none found - ideally should install in lowest level of basement floor**



Washroom(s): **overall in good repair**  
**some older fixtures, maintain/repair as required**

Kitchen(s) **overall in good repair**  
**some older fixtures, maintain/repair as required**

**Description**

Floor Finishes: Wood Ceramic Tile	Wall Finishes: Plaster/Drywall	Ceiling Finishes: Plaster/Drywall	Windows: Single/Double Hung Casement Fixed Double Glazing Primary Plus Storm	Exterior Doors: Wood Sliding Glass
Fireplaces: Non-Functional	Fireplace Fuel:			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 70 %  
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
 Storage/Furnishings in Some Areas Limited Inspection

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: various upgraded units, upgrade older units as required

\*\*Basement Leakage: presently no leaking detected with moisture meter random sampling typical efflorescence, staining and dampness for older foundation see steps below

Comments: main level door to 2nd level: ideally should be fire rated door

Comments: abandoned piping in closet/basement - remove if required by qualified technician



CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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